

- DEMOLITION NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR A THOROUGH EXPLORATION OF EXISTING CONDITIONS AND SHALL ASSUME FULL RESPONSIBILITY FOR THE DEMOLITION AND REMOVAL OF EXISTING ENCROACHMENTS WITHIN PROJECT SITE WHICH INTERFERE WITH PROPOSED CONSTRUCTION WHETHER SHOWN ON THIS PLAN OR NOT. CONTRACTOR IS TO SECURE DEMOLITION PERMITS, IF REQUIRED, FOR THE WORK AND PAY FOR SAME.
  - ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE GOVERNING BUILDING AND ZONING CODES OF THE BOROUGH OF HADDON HEIGHTS OR ANY OTHER AGENCY HAVING JURISDICTION.
  - ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS AND/OR FOUND ON THE SITE DURING DEMOLITION OR CONSTRUCTION SHALL BE, UNLESS OTHERWISE DIRECTED, THE CONTRACTOR'S PROPERTY AND SHALL BE PROMPTLY REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
  - LOCATIONS OF UTILITIES SHOWN ON THIS PLAN ARE NOT NECESSARILY COMPLETE. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES OPERATING WITHIN THE CONSTRUCTION AREA TO VERIFY LOCATION, SIZE, TYPE AND ELEVATIONS OF ANY UTILITIES PRIOR TO COMMENCEMENT OF DEMOLITION OR EXCAVATION ACTIVITIES. LOCATION OF UTILITIES SHALL INCLUDE CONTACT WITH THE NJ ONE-CALL SYSTEM (800-272-1000).
  - APPLICABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION. SUCH MEASURES SHALL BE LEFT IN PLACE UNTIL THE PROJECT IS COMPLETED OR THE AREA IS STABILIZED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE CAMDEN COUNTY SOIL CONSERVATION DISTRICT.
  - ABOVE GRADE STRUCTURES SHOWN TO BE REMOVED OR DEMOLISHED INCLUDES COMPLETE REMOVAL OF BELOW GRADE STRUCTURES (FOOTINGS, ETC.) ASSOCIATED WITH THESE SITE IMPROVEMENTS AND BACKFILL OF OPEN AREAS WITH COMPACTED SELECT BACKFILL, UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMAL INTERFERENCE WITH ROADS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. THE AREAS OF DEMOLITION SHALL BE PROTECTED TO ENSURE SAFE PASSAGE OF PERSONS IN THE RESPECTIVE AREAS.
  - CONTRACTOR SHALL PROTECT ALL STRUCTURES OR OBJECTS TO REMAIN SO AS TO AVOID DAMAGE DURING DEMOLITION ACTIVITIES. ANY AND ALL DAMAGE CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS SHALL BE PROMPTLY REPAIRED TO ORIGINAL CONDITION OR BETTER BY THE CONTRACTOR AT NO COST TO THE OWNER.
  - THE CONTRACTOR SHALL DESIGNATE AN INDIVIDUAL AS SITE SUPERVISOR, RESPONSIBLE FOR SITE SAFETY DURING THE COURSE OF DEMOLITION OPERATIONS.
  - CONTRACTOR SHALL SAW CUT ALONG THE EDGE OF EXISTING HARD MATERIALS (CONCRETE, ASPHALT, ETC.) SHOWN TO BE REMOVED, WHERE SUCH MATERIALS ADJUT SURFACES OF LIKE MATERIALS TO REMAIN.
  - WHERE EXISTING HARDSCAPE MATERIAL IS SHOWN TO BE REMOVED (ASPHALT, CONCRETE, ETC.) CONTRACTOR SHALL ALSO REMOVE EXISTING BASE COURSE MATERIALS (IF MATERIALS EXIST UNDER PAVED SURFACE), UNLESS OTHERWISE NOTED. CONTRACTOR MAY STOCKPILE BASE COURSE MATERIAL ON SITE FOR REUSE ON THIS PROJECT UPON APPROVAL OF THE MUNICIPAL ENGINEER.
  - CONTRACTOR SHALL STRIP AND STOCKPILE EXISTING TOPSOIL FOR REUSE ON-SITE. REMOVE HEAVY GROWTH OF GRASSES AND OTHER DELICIOUS MATERIAL FROM THE AREA BEFORE STRIPPING TOPSOIL. STOCKPILE TOPSOIL IN AREA SHOWN OR WHERE DIRECTED BY THE OWNER'S REPRESENTATIVE. CONSTRUCT STORAGE PILES TO FREELY DRAIN SURFACE WATER. COVER STORAGE PILES AS REQUIRED TO PREVENT WINDBLOWN DUST. EXCESS TOPSOIL SHALL BE REMOVED FROM SITE.
  - DURING DEMOLITION WORK CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE PROVISIONS FOR DUST CONTROL AND PROTECTION OF EXISTING FACILITIES FROM DUST. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY INCIDENTAL DAMAGE AS A RESULT OF INSUFFICIENT DUST CONTROL.
  - STUMPS SHALL BE CUT OR REMOVED BY A STUMP CUTTING MACHINE, TO A MINIMUM DEPTH OF AT LEAST 2 FEET BELOW SUBGRADE. THE RESULTING DEPRESSION SHALL BE FILLED WITH COMPACTED STRUCTURAL FILL MATERIAL.
  - REFER TO "GENERAL INFORMATION PLAN", SHEET G-001, FOR PROJECT LEGEND. REFER TO "SITE PLAN", SHEET C-102, FOR GENERAL NOTES PERTAINING TO WORK OF THIS PLAN. THIS PLAN SHALL BE USED FOR SITE DEMOLITION ONLY.
  - IF ANY ADDITIONAL EXISTING UTILITIES ARE FOUND ONSITE, THEY ARE TO BE REMOVED AND/OR ABANDONED.

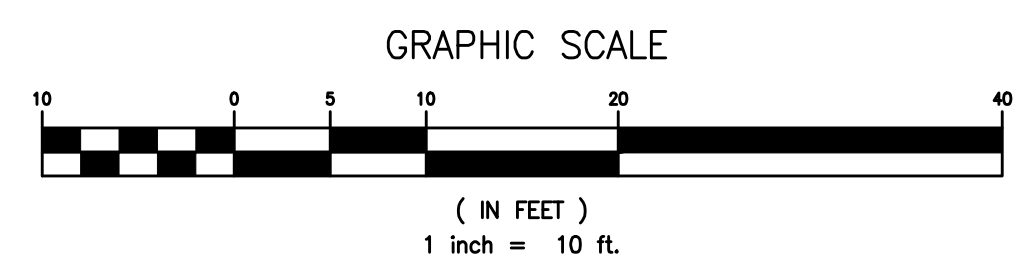
**REMOVALS LEGEND**

	REMOVE ASPHALT PAVING
	REMOVE CONCRETE PAVING
	REMOVE TURFGRASS LAWN; STRIP & STOCKPILE TOPSOIL
	REMOVE BRICK PAVERS
	SAWCUT PAVEMENT

**KEY TO SITE DEMOLITION AND REMOVAL ITEMS**

	REMOVE EXISTING BUILDING AND RELATED IMPROVEMENTS
	PROTECT EXISTING BUILDING / STRUCTURE TO REMAIN
	REMOVE CONCRETE OR BRICK SIDEWALK
	REMOVE CONCRETE OR BRICK CURBING
	REMOVE CONCRETE DRIVEWAY APRON
	REMOVE ASPHALT PAVING
	REMOVE LAWN / LANDSCAPE PLANTINGS
	REMOVE TREE / TREE STUMP
	REMOVE OVERHEAD WIRES
	REMOVE UTILITY POLE FOR RELOCATION
	REMOVE WOOD FENCE
	REMOVE COOLER/SHED/CONCRETE PAD
	REMOVE BRICK PLANTER
	REMOVE SUMP PUMP AND RELATED FEATURES
	REMOVE SIGN AND MASONRY SIGN STRUCTURE
	SAW CUT PAVEMENT

- GENERAL NOTES:**
- INFORMATION TO PREPARE THESE PLANS OBTAINED FROM THE FOLLOWING SOURCES:  
 A. PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY" - BLOCK 25, LOTS 7, 16, 17, 17.01 SHEET 1 OF 1, PREPARED BY STANTEC CONSULTING SERVICES INC. DATED 05.01.2023 AND SIGNED ON 05.16.2023.  
 B. SURVEY UPDATE PER STANTEC FIELD VISIT PERFORMED ON 12.28.2023.
  - A. HORIZONTAL COORDINATE SYSTEM: DEED  
 B. TOPOGRAPHIC VERTICAL DATUM: ASSUMED
  - UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY (ELEVATION & LOCATION ON INLETS AND MANHOLES FROM ACTUAL FIELD SURVEY.) SUBSURFACE UTILITY LOCATION WAS NOT PART OF THE EFFORT TO PREPARE THIS PLAN. THE EXISTENCE, EXTENT AND EXACT LOCATIONS OF UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED. ANY CONTRACTOR PERFORMANCE WORK AT THIS SITE SHALL CONTACT THE N.J. ONE-CALL SYSTEM AT 1-800-272-1000 AT LEAST 3 DAYS PRIOR TO COMMENCING WORK.
  - THE SUBJECT PROPERTY IS DEPICTED ON FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP, MAP NUMBER 3407C0043E, PANEL NUMBER 43 OF 305, HAVING AN EFFECTIVE DATE OF SEPTEMBER 28, 2007. THE SUBJECT PROPERTY IS LOCATED IN ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
  - THE UNDERSIGNED IS NOT QUALIFIED TO MAKE ANY DETERMINATION OF THE EXISTENCE OR NON-EXISTENCE OF WETLANDS AND / OR CONTAMINATION AFFECTING THIS SURVEY. THEREFORE, NO STATEMENT IS BEING MADE OR IMPLIED, NOR SHOULD IT BE CONSTRUED THAT ANY STATEMENT IS BEING MADE BY THE FACT THAT NO EVIDENCE OF WETLANDS OR CONTAMINATION IS SHOWN.



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1	SITE PLAN APPLICATION	By	CHW	03.19.24
	Revision		MM/DD/YY	

Project: 501-303 STATION AVENUE  
 BLOCK 25, LOTS 16 & 17.01  
 HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY

Client: BROKEN GROUND PROPERTIES LLC

Permit: Seal

Site DEMOLITION PLAN

**CLIFTON W. QUAY**  
 PROFESSIONAL ENGINEER, PROFESSIONAL PLANNER  
 N.J.P.E. LICENSE #42870, N.J.P.P. LICENSE #L06653

*Clifton W. Quay* 3.19.24  
 DATE

Project Number: 192520466

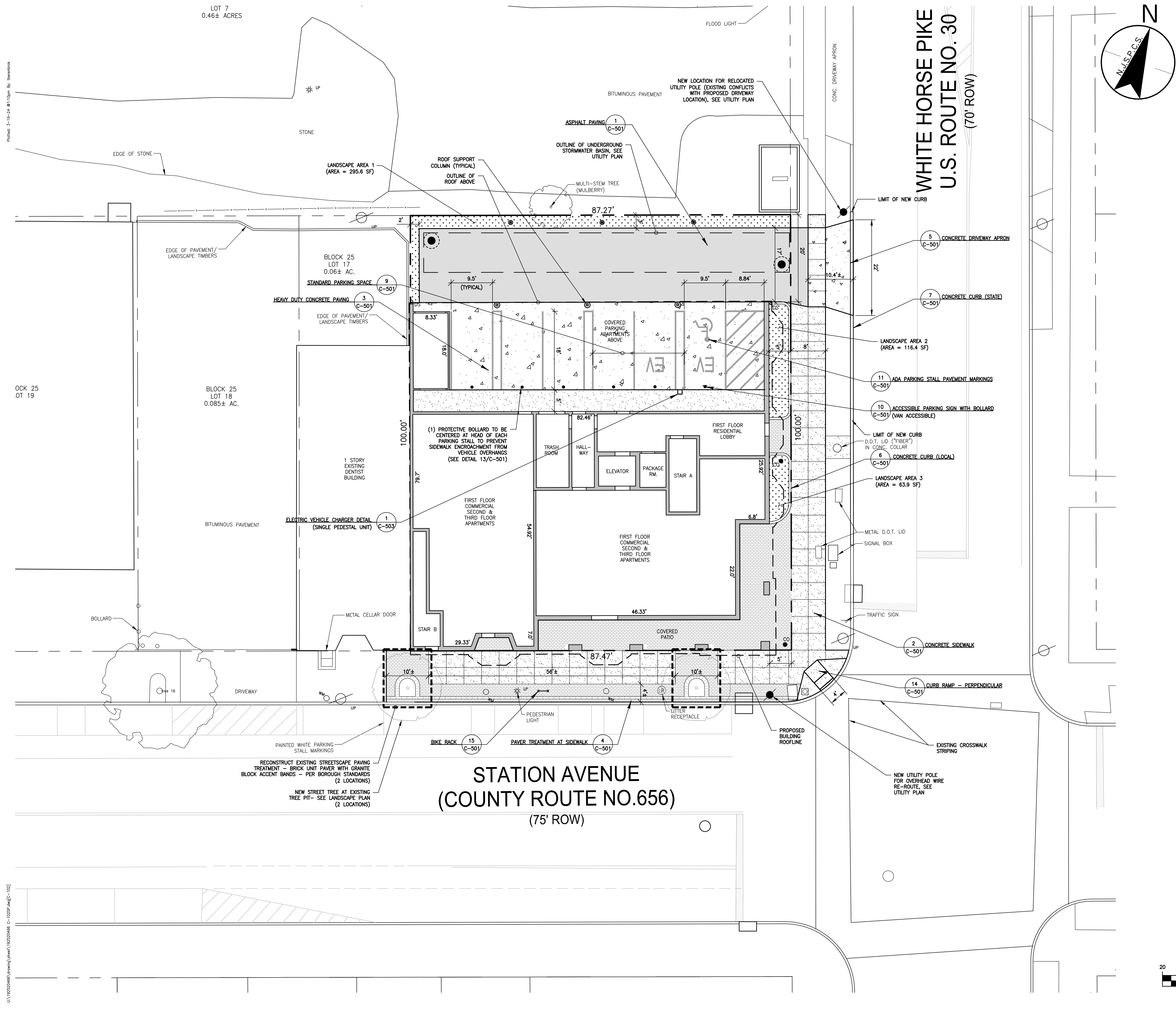
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Scale: 1" = 10'

Drawing No. C-101.1

Revision	Sheet
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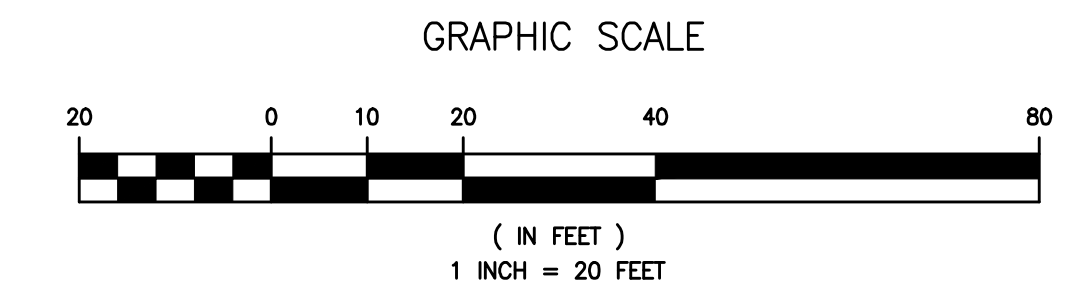
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- GENERAL NOTES:**
- CONTRACTOR SHALL INSPECT AND VERIFY ALL FIELD DIMENSIONS AND SITE CONDITIONS SHOWN HEREIN BEFORE PROCEEDING WITH THE WORK. DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF THE WORK. ONCE CONSTRUCTION HAS BEGUN, CONTRACTOR SHALL NOT USE FIELD INFORMATION DISCREPANCIES AS THE BASIS FOR CHANGE ORDER CLAIMS.
  - ALL WORK PERFORMED SHALL CONFORM TO ALL APPLICABLE BOROUGH OF HADDON HEIGHTS STANDARDS (ALL REQUIRED NOTIFICATIONS TO TOWNSHIP AGENCIES INCLUDED).
  - THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. LOCATION OF UTILITIES SHALL INCLUDE CONTACT WITH THE NJ ONE-CALL SYSTEM (800-272-1000).
  - NO DISTURBANCES NOR PLACEMENT OF MATERIALS SHALL BE PERMITTED BEYOND THE PROJECT PROPERTY LINES WITHOUT THE WRITTEN CONSENT OF THE PROPERTY OWNER(S) INVOLVED. ALL DAMAGE CAUSED TO ADJACENT FACILITIES BY CONTRACTOR'S OPERATIONS AND/OR STORAGE OF MATERIALS OR EQUIPMENT SHALL BE PROMPTLY REPAIRED TO ORIGINAL CONDITION OR BETTER AT NO COST TO THE OWNER.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL UTILITY SERVICES FOR EXISTING FACILITIES DURING THE WORK. CONTRACTOR SHALL COORDINATE CHANGEOVER FROM PERMANENT TO TEMPORARY SERVICE, AND BACK WITH THE AFFECTED PARTIES PRIOR TO COMMENCEMENT OF THE WORK.
  - CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL APPLICABLE OSHA REGULATIONS AND FOR PROVIDING FOR PUBLIC SAFETY DURING DEMOLITION AND CONSTRUCTION OPERATIONS AND HOLD THE OWNER AND OWNER'S REPRESENTATIVE HARMLESS FOR DAMAGES CAUSED BY THE CONTRACTOR. CONTRACTOR SHALL SECURE THE PROPER INSURANCE COVERAGE FOR THE PROJECT.
  - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL MEASURES AS REQUIRED AND COORDINATE WITH OWNER TO ALLOW SAFE INGRESS AND EGRESS FROM THE SITE DURING CONSTRUCTION. CONTRACTOR SHALL MAINTAIN TRAFFIC FLOW AROUND THE SITE. IF IT BECOMES NECESSARY TO CLOSE A PORTION OF AN ADJACENT STREET DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY LOCAL AUTHORITY HAVING JURISDICTION. SECURE ALL PERMITS REQUIRED FOR THE WORK.
  - APPLICABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. SUCH MEASURES SHALL BE LEFT IN PLACE UNTIL THE PROJECT IS COMPLETED OR THE AREA IS STABILIZED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE CAMDEN COUNTY SOIL CONSERVATION DISTRICT.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY SECURING THE PROJECT SITE AT ALL TIMES. CONTRACTOR SHALL MAINTAIN ADEQUATE BARRICADE AND SECURITY FENCE WHICH SHALL CONFORM TO OWNER'S REQUIREMENTS.
  - CONTRACTOR IS TO PROVIDE ADEQUATE SECURITY LIGHTING DURING CONSTRUCTION.
  - ALL AREAS DISTURBED AS A RESULT OF CONSTRUCTION SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION OR BETTER, UNLESS OTHERWISE INDICATED.
  - CONTRACTOR IS TO KEEP ALL AREAS CLEAN OF DIRT AND DEBRIS ON A DAILY BASIS. OWNER HAS A RIGHT TO CLEAN FOR CONTRACTOR NONCOMPLIANCE AT CONTRACTOR'S EXPENSE.
  - CONTRACTOR SHALL TAKE WHATEVER PRECAUTION NECESSARY DURING CONSTRUCTION TO ENSURE THAT NO DAMAGE IS DONE TO EXISTING TREES. THIS SHALL INCLUDE THE USE OF CONSTRUCTION EQUIPMENT OF SIZES AND WEIGHTS WHICH WILL NOT INJURE ROOT SYSTEMS. TREE LOCATIONS ARE APPROXIMATE, AND SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF WORK.
  - THE CONTRACTOR SHALL EMPLOY A REGISTERED SURVEYOR TO LAY OUT THE WORK, AND TO ESTABLISH ALL POINTS, LINES, AND GRADES FROM THE BENCH MARKS, CENTER LINES, REFERENCE POINTS, AND BASELINES SHOWN ON THESE PLANS. ALL WORK SHALL BE LOCATED BY THE CONTRACTOR FROM THESE ESTABLISHED POINTS.
  - CONTRACTOR SHALL FURNISH PRODUCT SUBMITTALS, SAMPLES, AND/OR SHOP DRAWINGS, (5 COPIES EACH) FOR ALL ITEMS PERTAINING TO WORK OF THESE PLANS. SUBMISSIONS SHALL BE MADE IN SUFFICIENT ADVANCE TIME SO THAT THE PROJECT CONSULTANT'S REVIEW AND ACCEPTANCE MAY BE ACHIEVED NO LESS THAN (10) DAYS BEFORE THE WORK REPRESENTED BY THOSE SUBMITTALS IS SCHEDULED TO BE PERFORMED. WORK FOR WHICH SUBMITTALS ARE REQUIRED SHALL NOT BE STARTED UNTIL THE PROJECT CONSULTANT'S REVIEW AND ACCEPTANCE HAS BEEN RECEIVED.
  - CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF WORK SHOWN ON THESE PLANS WITH THE WORK SHOWN ON OTHER DIVISION PLANS (ARCHITECTURAL, STRUCTURAL, ETC.). ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER OR OWNER'S REPRESENTATIVE, PRIOR TO COMMENCEMENT OF THE WORK.
  - ALL MATERIALS, EQUIPMENT AND METHODS OF CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION\* UNLESS OTHERWISE INDICATED.

**PAVEMENT / SURFACE MATERIALS LEGEND**

	ASPHALT PAVING
	CONCRETE PAVING - SIDEWALK
	CONCRETE PAVING - HEAVY DUTY
	STREETSCAPE UNIT PAVERS
	PLANTING AREAS (ON-SITE)



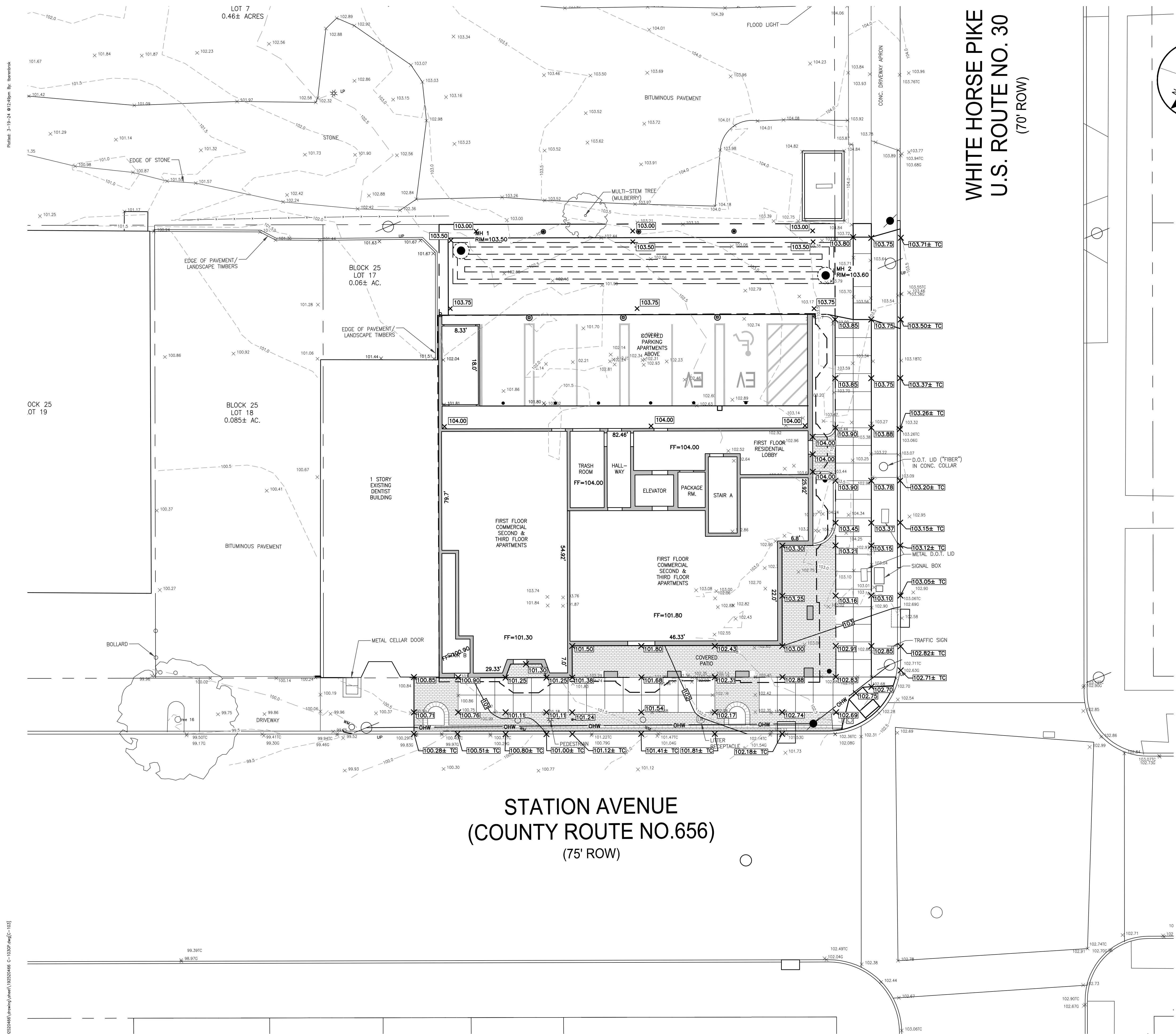
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Revision	By	Date
1	AW/DD/Y	03.19.24

Project: 501-303 STATION AVENUE  
 BLOCK 25, LOTS 16 & 17.01  
 HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY  
 Client: BROKEN GROUND PROPERTIES LLC  
 Title: SITE PLAN

Permit-Seal  
**CLIFTON W. QUAY**  
 PROFESSIONAL ENGINEER, PROFESSIONAL PLANNER  
 N.J.P.E. LICENSE #42870, N.J.P.P. LICENSE #L06653  
 3.19.24  
 DATE

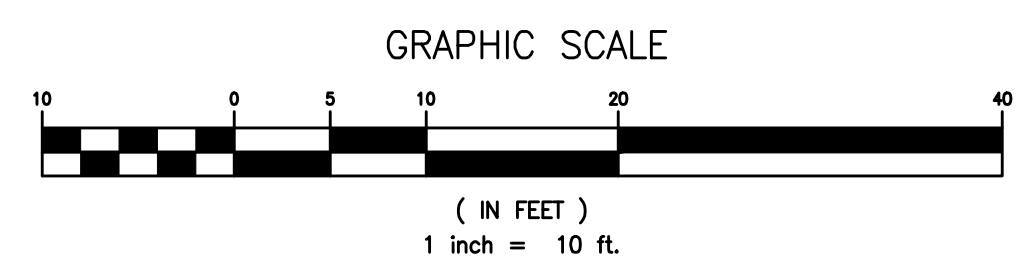
Project Number: 192520466
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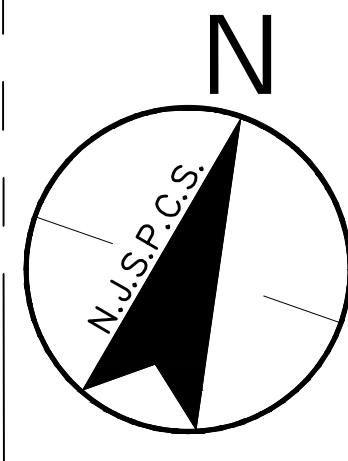
- EARTHWORK NOTES:**
- SITE PREPARATION:**
    - ALL DELETERIOUS MATERIALS INCLUDING TOPSOIL, ROOT MASS, TREES AND VEGETATION, EXISTING FOUNDATIONS AND SUBGRADE WALLS AND OTHER MATERIALS DETERMINED IN FIELD BY THE OWNER'S REPRESENTATIVE TO BE UNSUITABLE SHALL BE REMOVED PRIOR TO CUT AND FILL OPERATIONS.
    - STRIP AND STOCKPILE TOPSOIL FOR REUSE ON SITE.
    - REMOVE EXCESS TOPSOIL AND DELETERIOUS MATERIALS FROM SITE AND DISPOSE OF IN A LAWFUL MANNER.
  - EXCAVATION:**
    - EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE CONDITIONS INDICATED, REGARDLESS OF CHARACTER OF MATERIALS AND OBSTRUCTIONS ENCOUNTERED, OR ANY WATER ENCOUNTERED.
    - DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS.
    - REMOVE BOLLERS PROTRUDING INTO SUBGRADE AREAS TO A DEPTH OF 6 INCHES BELOW FINISH SUBGRADE ELEVATIONS AND REPLACE WITH STRUCTURAL FILL.
  - PROOF ROLLING:**
    - IN THE PRESENCE OF OWNER'S REPRESENTATIVE PROOF ROLL EXPOSED SUBGRADE AREAS WITH A HEAVY SMOOTH DRUM ROLLER (MINIMUM 15 TON STATIC WEIGHT OR EQUIVALENT) TO DETECT THE PRESENCE OF LOOSE OR SOFT ZONES.
    - REPAIR LOOSE OR SOFT ZONES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
    - PERFORM PROOF ROLLING OPERATIONS WITHIN FILL AREAS PRIOR TO PLACEMENT OR FILLS AND WITHIN CUT AREAS WHEN SUBGRADE ELEVATIONS HAVE BEEN REACH AND IMMEDIATELY PRIOR TO PLACEMENT OF ADDITIONAL WORK.
    - OWNER'S REPRESENTATIVE SHALL EVALUATE ALL SUBGRADE AREAS PRIOR TO PLACEMENT OF ADDITIONAL WORK.
    - GRADE PAVEMENT AND SIDEWALK SUBGRADES TO DRAIN WATER AND PREVENT PONDING FROM BENEATH THE PAVEMENT AND SIDEWALK SYSTEMS.
  - FOUNDATION AND UTILITY TRENCHES:**
    - BACKFILL WITH STRUCTURAL FILL UNDER DIRECTION OF OWNER'S REPRESENTATIVE.
    - REMOVE LARGE BOULDERS ENCOUNTERED DURING EXCAVATION WITH ROCK REMOVAL TECHNIQUES.
    - OVER EXCAVATE TRENCH AS REQUIRED TO REMOVE ROCK.
    - DEWATER TRENCH AS REQUIRED.
    - PARTIAL REMOVAL OF BOULDERS TO A MINIMUM 18 INCHES BELOW FOOTING/TRENCH BOTTOM MAY BE ACCOMPLISHED UNDER DIRECTION OF OWNER'S REPRESENTATIVE.
    - BOULDER PROTRUSION INTO BOTTOM OR SIDE OF FOOTING IS NOT ACCEPTABLE.
  - FILL:**
    - PLACE STRUCTURAL FILL WHEN SUPPORTING SLABS, PAVEMENTS AND FOUNDATIONS.
    - PLACE ON APPROVED, PROOF ROLLED, NON-YIELDING SUBGRADE IN LIFTS NOT EXCEEDING 8 INCHES.
    - MAINTAIN STRUCTURAL FILL AT NOMINAL OPTIMUM MOISTURE CONTENT (ASTM D 698).
    - COMPACT TO 98 PERCENT OF MAXIMUM DRY DENSITY (ASTM D698).
    - STRUCTURAL FILL:
      - CLEAN SOILS WITHOUT DELETERIOUS INCLUSIONS.
      - MAINTAIN ON-SITE SOILS SELECTED BY OWNER'S REPRESENTATIVE AT NOMINAL OPTIMUM MOISTURE CONTENT BEFORE USE AS STRUCTURAL FILL. SOILS MAY REQUIRE AERATION AND DRYING WHICH IS BEST ACCOMPLISHED DURING SUMMER MONTHS.
    - BORROW FILL:
      - CLEAN WELL GRADED SOILS WITH GOOD STRENGTH CHARACTERISTICS.
      - MAXIMUM PARTICLE SIZE: 3 INCHES.
      - CONTAIN NOT MORE THAN 20% SILT/CLAY (BY WEIGHT).
    - SUBMIT TO OWNER'S REPRESENTATIVE SAMPLES OF ON-SITE OR BORROW SOURCES OF FILL FOR TESTING AT LEAST ONE (1) WEEK BEFORE USE ON-SITE.
  - OWNER RESERVES THE RIGHT TO EMPLOY A GEOTECHNICAL ENGINEER TO PROVIDE FIELD QUALITY CONTROL SERVICES DURING CONSTRUCTION.**
  - PAVEMENT:**
    - PRIOR TO THE PLACING OF THE SURFACE COURSE, THE CONTRACTOR SHALL REPAIR ANY DEFECTS IN THE BASE COURSE. WHERE CRACKING OR ANY OTHER TYPE OF FAILURE HAS OCCURRED IN THE BASE COURSE, THE CONTRACTOR SHALL COMPLETELY REMOVE THE BASE COURSE, STABILIZE THE SUBGRADE IF NECESSARY AND CONSTRUCT NEW BASE COURSE. WHERE THE DEFICIENCY INVOLVES DEPRESSIONS OR RAVELING IN THE SURFACE OF THE BASE COURSE, THE REPAIR MAY BE MADE BY SKIN PATCHING WITH A SUITABLE BITUMINOUS MATERIAL.
    - PRIOR TO THE PLACEMENT OF THE SURFACE COURSE, THE CONTRACTOR SHALL SUPPLY SUFFICIENT WATER AT THE HIGH POINTS AS SHOWN ON THE PLANS AND SHALL RUN SAID WATER INTO THE GUTTERS IN ORDER TO DETERMINE WHETHER OR NOT GUTTER/PAVEMENT GRADES ARE SATISFACTORY AND PONDING DOES NOT OCCUR.
    - WHEREVER PUDDLES OCCUR, THE CONTRACTOR SHALL SKIN PATCH THE BASE COURSE TO ACHIEVE PROPER GRADES IN THE GUTTERS/PAVEMENT. AFTER REPAIR OF THE BASE COURSE, A TACK COAT SHALL BE APPLIED AS SPECIFIED IN SECTION 401.03.05 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

**LEGEND:**

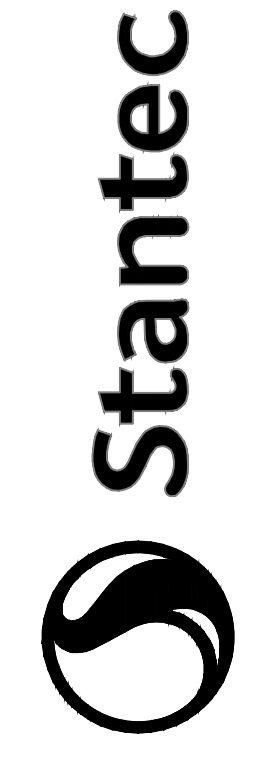
X 102.75	EXISTING SPOT ELEVATION
- - - 98	EXISTING TOPOGRAPHIC CONTOUR
X 18.07	PROPOSED SPOT ELEVATION
X 98.90 FC	FLUSH CURB SPOT ELEVATION
X 98.90 TC 98.40 G	TOP OF CURB/GUTTER SPOT ELEVATION
FF=101.45	FIRST FLOOR ELEVATION
- - - 98	PROPOSED TOPOGRAPHIC CONTOUR



**WHITE HORSE PIKE  
U.S. ROUTE NO. 30  
(70' ROW)**



**STATION AVENUE  
(COUNTY ROUTE NO.656)  
(75' ROW)**



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1	MM/DD/YY	03/19/24

Project: 501-303 STATION AVENUE  
 BLOCK 25, LOTS 16 & 17/01  
 HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY  
 Client: BROKEN GROUND PROPERTIES, LLC  
 Title: GRADING PLAN

Permit-Seal  
**CLIFTON W. QUAY**  
 PROFESSIONAL ENGINEER, PROFESSIONAL PLANNER  
 N.J.P.E. LICENSE #42870, N.J.P.P. LICENSE #LD6553  
 3/19/24  
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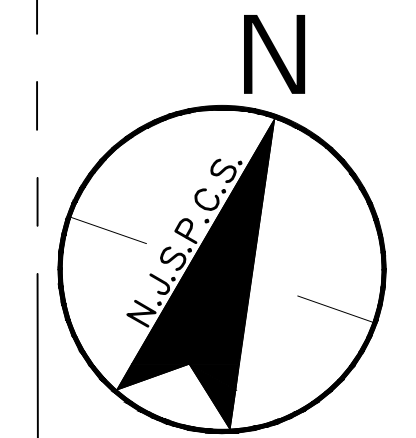
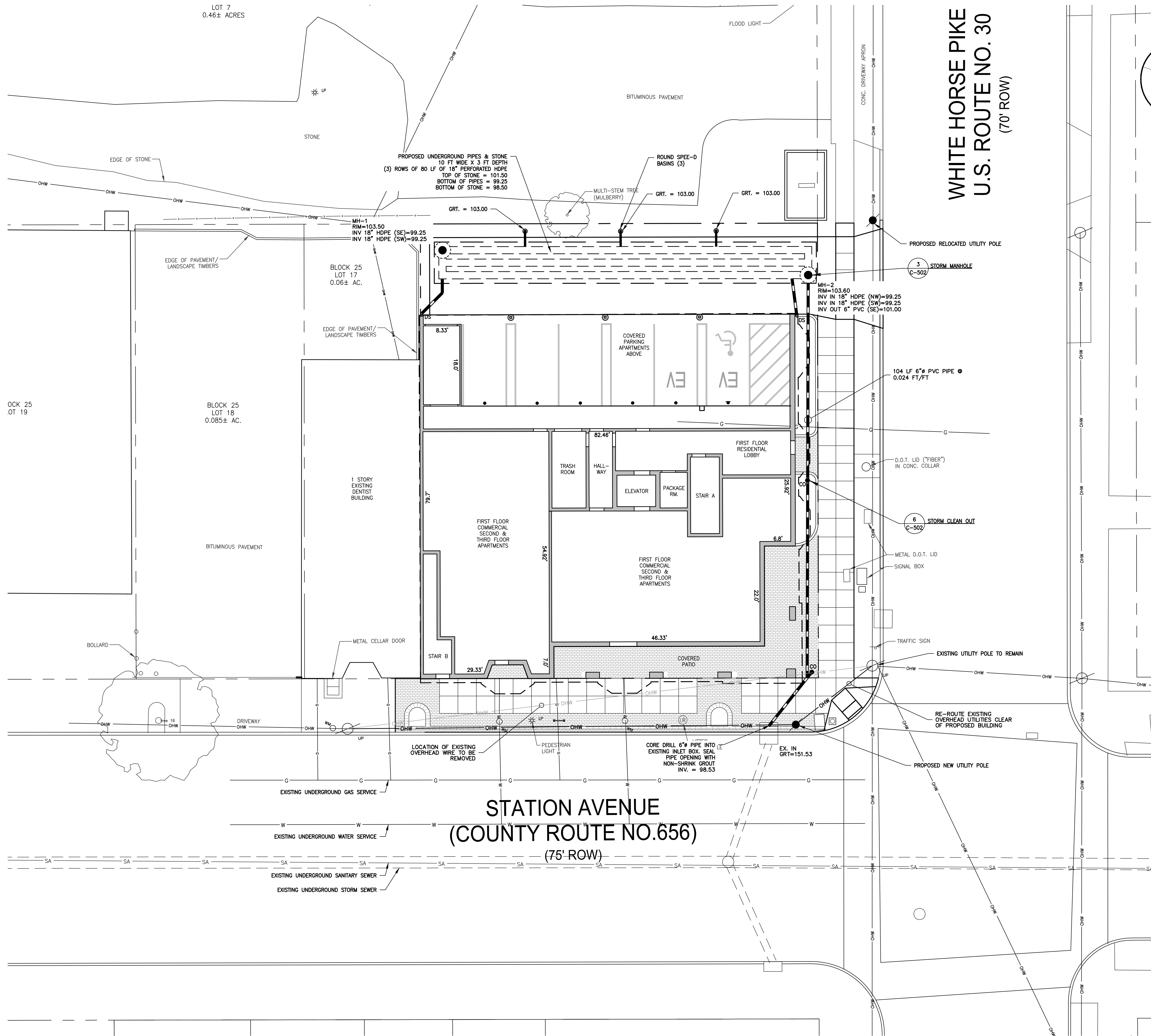
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Drawing No.	C-103	Revision	Sheet

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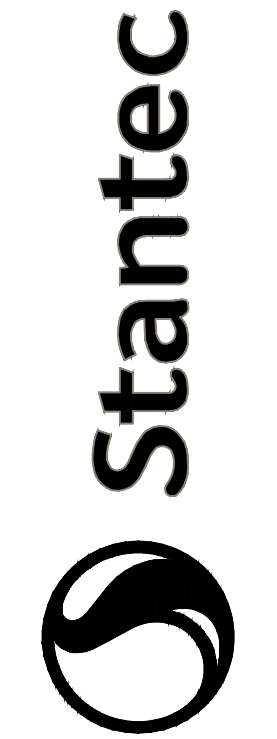
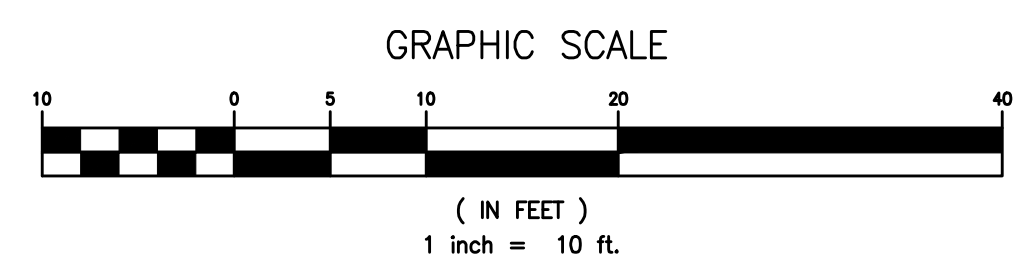


**UTILITY NOTES:**

- ALL UTILITY CONTRACTORS SHALL PROCURE ALL REQUIRED PERMITS, LICENSES AND INSPECTIONS. PAY ALL CHARGES AND GIVE ALL NECESSARY NOTICES AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- ALL METHODS AND MATERIALS OF CONSTRUCTION SHALL CONFORM, WHERE APPLICABLE, TO THE RULES AND REGULATIONS OF THE GOVERNING AUTHORITY HAVING JURISDICTION AND/OR THE LOCAL UTILITY COMPANY.
- PIPE MATERIAL:
  - REINFORCED CONCRETE PIPE (RCP): ASTM C 76, CLASS III, WITH WALL TYPE A, B, OR C; MESH REINFORCEMENT; INSIDE NOMINAL DIAMETER AS INDICATED WITH BELL AND SPIGOT END.
    - PIPE JOINT: SDR 35 PER ASTM D-3034 WITH BELL AND GASKET JOINTS.
  - POLYVINYL CHLORIDE (PVC) PIPE: ASTM D 3034, RATED SDR 35, UNLESS OTHERWISE REQUIRED BY LOCAL UTILITY HAVING JURISDICTION.
    - CONTINUOUSLY MARK PIPE WITH MANUFACTURER'S NAME, PIPE SIZE, CELL CLASSIFICATION, SDR RATING, AND ASTM D 3034 CLASSIFICATION.
    - PIPE JOINT: ASTM D 3034, TABLE 2; WITH INTEGRALLY MOLDED BELL ENDS AND FACTORY SUPPLIED ELASTOMERIC GASKETS AND LUBRICANT.
  - POLYVINYL CHLORIDE (PVC) PIPE: ASTM D 1784, RATED SCHEDULE 40, UNLESS OTHERWISE REQUIRED BY LOCAL UTILITY HAVING JURISDICTION.
    - CONTINUOUSLY MARK PIPE WITH MANUFACTURER'S NAME, PIPE SIZE, CELL CLASSIFICATION, SCHEDULE 40 RATING, AND ASTM D 1784 CLASSIFICATION.
    - PIPE JOINT: ASTM D 3212; WITH INTEGRALLY MOLDED BELL ENDS AND FACTORY SUPPLIED ELASTOMERIC GASKETS AND LUBRICANT.
  - CORRUGATED POLYETHYLENE (HDPE) PIPE: AASHTO DESIGNATION #M252, TYPE S; SMOOTH INTERIOR.
    - FITTINGS: ASTM D 3034, RATED SDR 35; WITH THERMO-MOLDED PVC.
    - GASKETS: ASTM F 477; WITH THERMO-MOLDED PVC FITTINGS AND CPP PIPE JOINT ASSEMBLY.
- MATERIALS FOR POTABLE WATER SERVICE AND ALL METHODS OF CONSTRUCTION SHALL CONFORM TO LOCAL WATER AND SEWER DEPARTMENT RULES AND REGULATIONS. CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS, LABOR AND TESTING FOR AND SERVICE CONNECTIONS AND COORDINATE SERVICE INITIATION REQUIREMENTS WITH THE TOWNSHIP.
- PROVIDE MINIMUM COVER OF 42" FROM FINISH GRADE FOR POTABLE WATER SERVICE.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF GAS SERVICE WITH PSE&G AND PROVIDE ALL NECESSARY MATERIALS AND LABOR NOT PROVIDED BY PSE&G FOR COMPLETION OF MAIN AND SERVICE. SIZE OF SERVICE SHALL BE VERIFIED WITH PSE&G.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF ELECTRIC SERVICE WITH PSE&G AND PROVIDE ALL NECESSARY MATERIALS AND LABOR NOT PROVIDED BY PSE&G FOR COMPLETION OF SERVICE. SERVICE REQUIREMENTS SHALL BE VERIFIED WITH PSE&G. CONNECTION LOCATION TO BE DETERMINED BY PSE&G.
- REFER TO PLAN C-102 FOR GENERAL NOTES PERTAINING TO WORK OF THIS PLAN.
- GENERAL CONTRACTOR SHALL EMPLOY AN INDEPENDENT SOILS INSPECTOR FOR 100% CONTINUOUS INSPECTION OF THE BEDDING AND BACKFILL OPERATION. COMPACTION TESTS SHALL BE TAKEN AT THE BOTTOM OF TRENCH AND AT EACH LIFT OF BACKFILL.
- GENERAL CONTRACTOR SHALL EMPLOY A LICENSED SURVEYOR TO RECORD AS-BUILT TOP OF PIPE ELEVATIONS TAKEN WHEN BEDDING OPERATION IS 75% COMPLETE. THESE ELEVATIONS SHALL BE TAKEN AT POINTS OF CONNECTION, CHANGES IN DIRECTION AND AT MINIMUM 20' INTERVALS ALONG THE LENGTH OF THE PIPE. THESE ELEVATIONS SHALL BE RECORDED AS AS-BUILT DIMENSIONS ON A SITE PLAN FOR REVIEW BY THE PROJECT CIVIL ENGINEER.
- ALL SANITARY LINES ARE TO BE FLUSHED PRIOR TO CONTRACTOR TURNOVER OF THE FACILITY.
- CONTRACTOR TO VERIFY WITH UTILITY COMPANY FOR PROPER LOCATION OF TELECOMMUNICATION DROP. CONDUIT SHALL RUN FROM DROP TO IT ROOM.
- CONTRACTOR TO COORDINATE WITH VERIZON FOR PROPOSED TELEPHONE SERVICE. SERVICE SHALL BE RUN IN UNDERGROUND CONDUITS.
- CONTRACTOR TO COORDINATE WITH DATA SERVICE PROVIDERS FOR CONNECTION. ALL SERVICE TO BE RUN UNDERGROUND.

**LEGEND:**

- CO CLEANOUT
- UNDERGROUND STORM PIPE
- UNDERGROUND PERFORATED STORM PIPE
- OVERHEAD UTILITIES
- DS DOWNSPOUT (ROOF COLLECTOR)
- ROUND BASIN DRAIN W/ ATRIUM GRATE
- STORM MANHOLE
- CO STORM CLEANOUT



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Project: 501-303 STATION AVENUE  
 BLOCK 25, LOTS 16 & 17.01  
 HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY  
 Client: BROKEN GROUND PROPERTIES LLC  
 Title: UTILITY PLAN

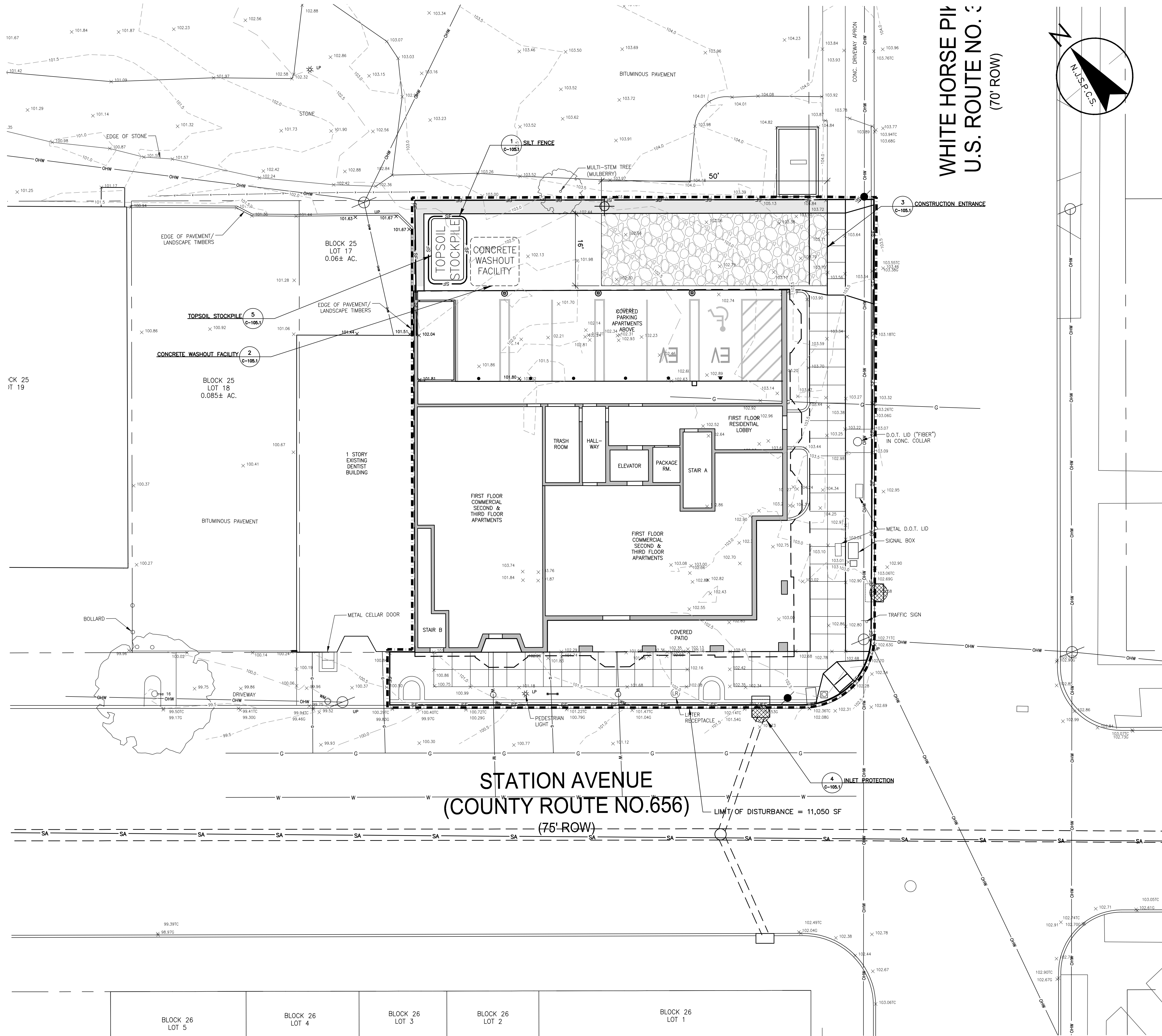
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**CLIFTON W. QUAY**  
 PROFESSIONAL ENGINEER, PROFESSIONAL PLANNER  
 N.J.P.E. LICENSE #42870, N.J.P.P. LICENSE #L06653

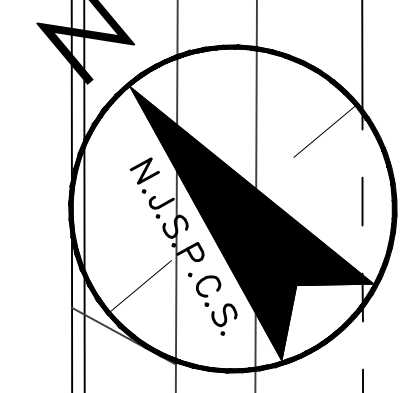
*Clifton W. Quay* 3.19.24  
 DATE

Project Number: 19252046			
MAI	CWQ	SAK	02.13.24
Dwn.	Chd.	Degn.	MM.DD.YY
Scale: 1" = 10'			
Drawing No.	C-104		
Revision	Sheet		

Point: 1-19-24, 81246m, By: barenock



WHITE HORSE PIKE  
U.S. ROUTE NO. 656  
(70' ROW)



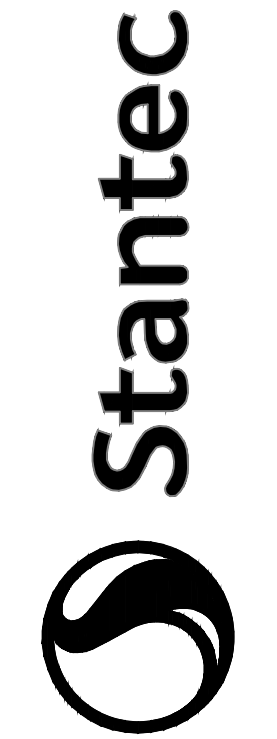
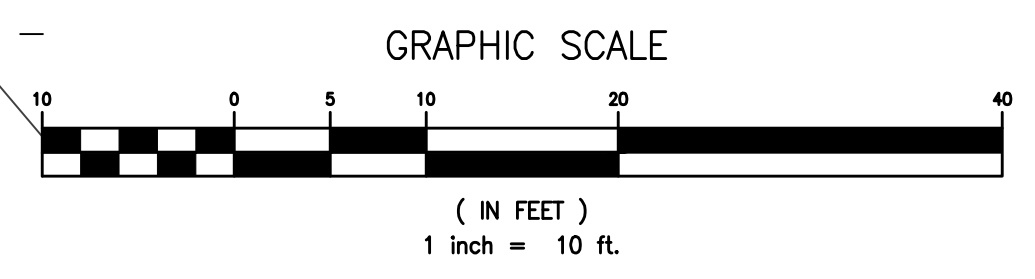
SOIL SURVEY MAP  
CAMDEN COUNTY, NEW JERSEY  
NOT TO SCALE

SOIL TYPE:  
FrpB  
Freehold-Downer-Urban land complex, 0 to 5 percent slopes

SOIL EROSION & SEDIMENT CONTROL LEGEND

- SF ——— SILT FENCE
- INLET PROTECTION
- LIMIT OF DISTURBANCE
- CONCRETE WASHOUT FACILITY
- STABILIZED CONSTRUCTION ENTRANCE
- SOIL COMPACTION TESTING AREAS
- RECOMMENDED SOIL COMPACTION TEST LOCATION (1 PER 0.5 ACRE)

NOTE:  
AREA OF DISTURBANCE = 11,363 SF OR 0.261 ACRES



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Revision	By	Date
1	MM/DD/YY	03/19/24

Project: 501-303 STATION AVENUE  
BLOCK 25, LOTS 16 & 17.01  
HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY

Client: BROKEN GROUND PROPERTIES LLC

Permit-Seal

CLIFTON W. QUAY  
PROFESSIONAL ENGINEER, PROFESSIONAL PLANNER  
N.J.P.E. LICENSE #42870, N.J.P.P. LICENSE #L06653

*Clifton W. Quay*  
DATE: 3.19.24

Project Number: 192520466			
MAI	CWQ	SAK	02.13.24
Dwn.	Chd.	Degn.	MM/DD/YY
Scale: 1" = 10'			
Drawing No.	C-105		
Revision	Sheet		
1	6 of 14		

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NO.	DATE	BY	APP'D.	REVISION
1	03/19/24	CWQ		SITE PLAN APPLICATION

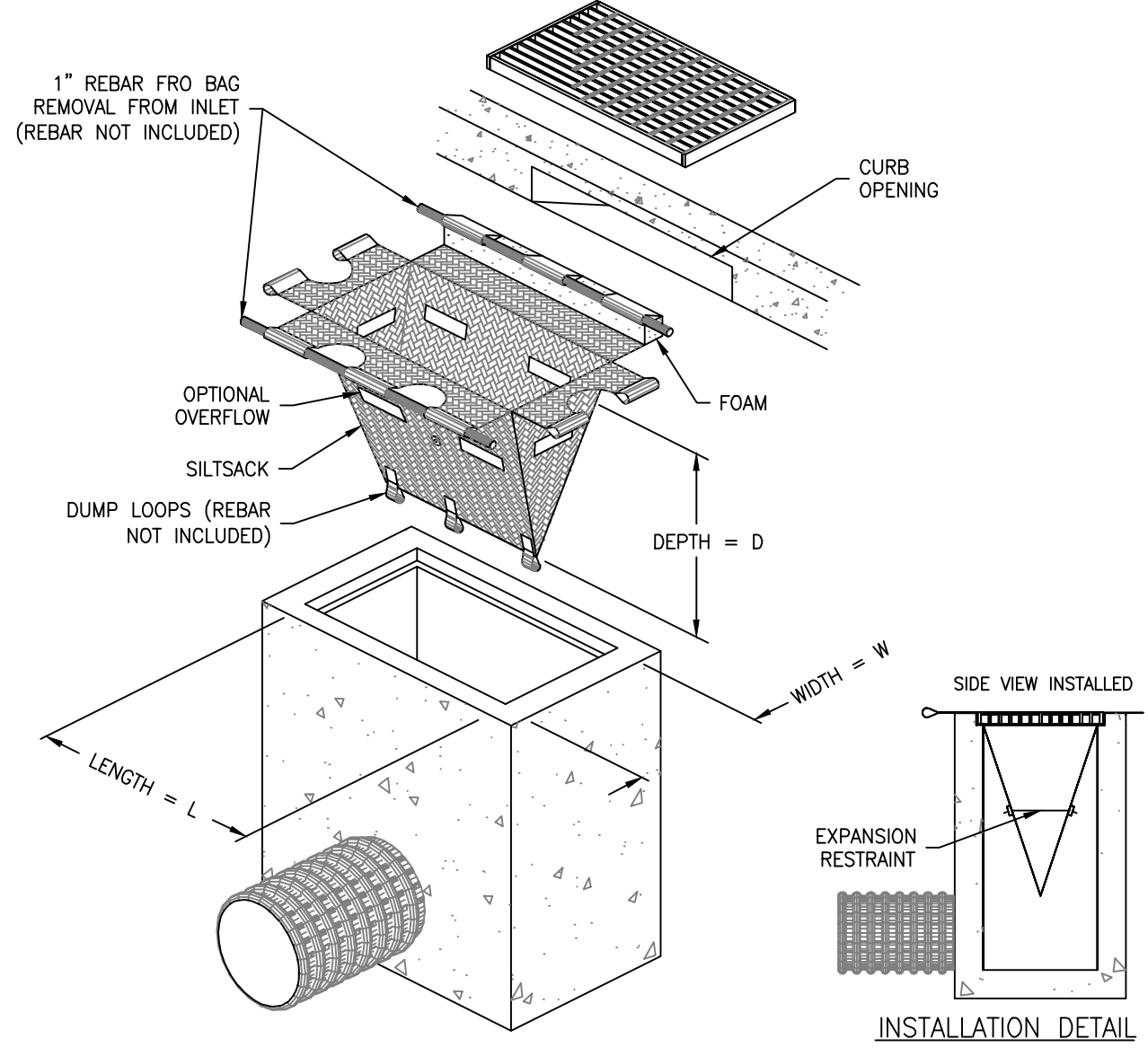
NO.	DATE	BY	APP'D.	REVISION
1	03/19/24	CWQ		SITE PLAN APPLICATION

Project: 90-303 STATION AVENUE  
 BLOCK 25, LOTS 16 & 17.01  
 HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY  
 Client: BROKEN GROUND PROPERTIES, LLC  
 Title: SOIL EROSION & SEDIMENT CONTROL DETAILS  
 Permit: Seal

CLIFTON W. QUAY  
 PROFESSIONAL ENGINEER, PROFESSIONAL PLANNER  
 N.J.P.E. LICENSE #42870, N.J.P.P. LICENSE #LJ06553  
 Date: 3/19/24

NO.	DATE	BY	APP'D.	REVISION
1	02/13/24	MMDDYY		

- NOTES:**
1. TO INSTALL SILTSACK IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
  2. WHEN THE RESTRAINT CORD IS NO LONGER VISIBLE, SILTSACK IS FULL AND SHOULD BE EMPTIED.
  3. TO REMOVE SILTSACK, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF SILTSACK.
  4. TO EMPTY SILTSACK, PLACE IT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL TURN SILTSACK INSIDE OUT AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN SILTSACK TO ITS ORIGINAL SHAPE AND PLACE BACK IN THE BASIN.
  5. SILTSACK IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE SILTSACK FROM THE BASIN AND CLEAN. SILTSACK SHOULD BE STORED OUT OF THE SUNLIGHT UNTIL NEEDED ON ANOTHER PROJECT.
  6. SILTSACK SEDIMENT CONTROL DEVICE IS MANUFACTURED BY ACI® ENVIRONMENTAL, RICHMOND, VA (800) 448-3636.



**REGULAR FLOW SILTSACK**  
 (FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4633	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4555	60 Hrs
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ. FT
PERMITIVITY	ASTM D-4491	0.55 SEC -1

**3 INLET PROTECTION**  
 C-105.2 NOT TO SCALE

**TEMPORARY CONCRETE WASHOUT FACILITY NOTES:**

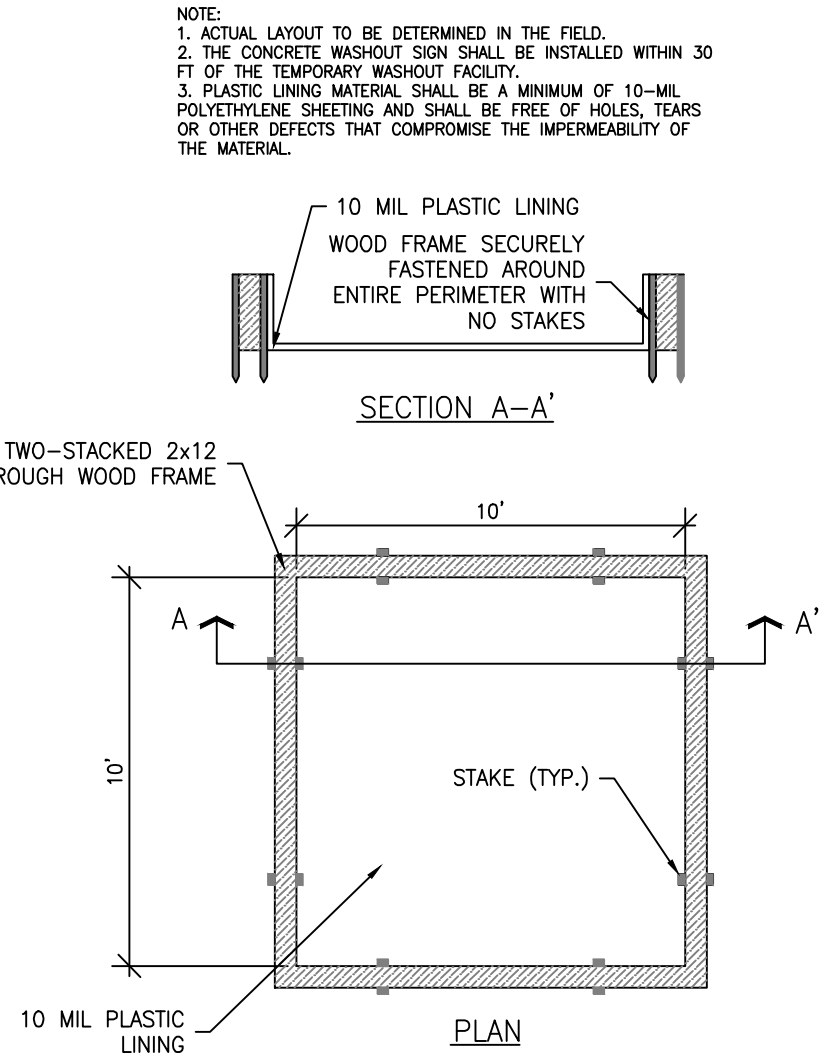
1. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE LOCATED A MINIMUM OF 15M (50 FT) FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHALL BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
2. A SIGN SHALL BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
3. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. THE LENGTH AND WIDTH OF THE FACILITY MAY BE INCREASED AS NEEDED.
4. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES.
5. PERFORM WASHOUT OF CONCRETE MIXER TRUCKS IN DESIGNATED AREAS ONLY.
6. WASH CONCRETE ONLY FROM MIXER TRUCK CHUTES INTO APPROVED CONCRETE WASHOUT FACILITY. WASHOUT MAY BE COLLECTED IN AN IMPERMEABLE BIN FOR DISPOSAL.
7. PUMP EXCESS CONCRETE IN CONCRETE PUMP BIN BACK INTO CONCRETE MIXER TRUCK.
8. CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OFFSITE.
9. ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHALL BE BROKEN UP, REMOVED AND DISPOSED OF PROPERLY.

**REMOVAL OF TEMPORARY CONCRETE WASHOUT FACILITY NOTES:**

1. WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF PROPERLY. DISPOSAL OF SLURRIES OR LIQUID WASTE SHALL BE DISPOSED OF OFFSITE EITHER TO A PERMITTED TREATMENT FACILITY OR BACK TO THE MIX PLANT.
2. THE CONTRACTOR'S WATER POLLUTION CONTROL MANAGER (WPCW) SHALL MONITOR ON SITE CONCRETE WASTE STORAGE AND DISPOSAL PROCEDURES AT LEAST WEEKLY OR AS DIRECTED BY THE BE.
3. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FRESHWATER OF 100 MM (4 INCHES) FOR ABOVE GRADE FACILITIES AND 300 MM (12 INCHES) FOR BELOW GRADE FACILITIES. MAINTAINING TEMPORARY CONCRETE WASHOUT FACILITIES SHALL INCLUDE REMOVING AND DISPOSING OF HARDENED CONCRETE AND LIQUID WASTE AND RETURNING THE FACILITIES TO A FUNCTIONAL CONDITION.
4. EXISTING FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.
5. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED WEEKLY FOR DAMAGE (I.E. TEARS IN THE PVC LINER, MISSING SAND BINS, ETC.). DAMAGED FACILITIES SHALL BE REPAIRED.

**STATEWIDE STORM PERMITTING PROGRAM NOTES:**

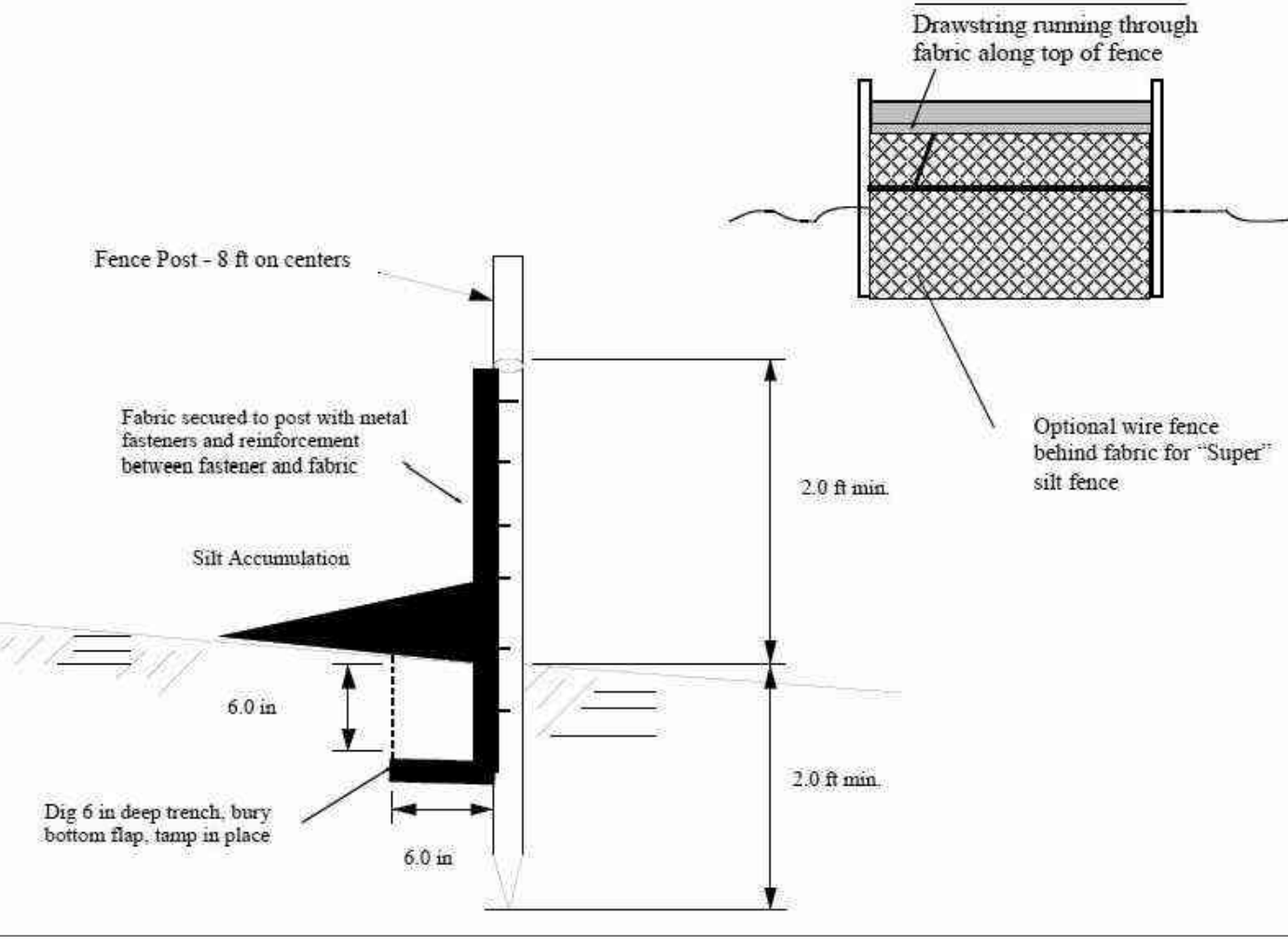
1. CONCRETE TRUCK WASHOUT AREAS WILL BE MAINTAINED ON A CONTINUAL BASIS AND AS NEEDED.
2. THE STORMWATER POLLUTION PREVENTION PLAN AND THE SPILL RESPONSE PLAN SHALL BE AVAILABLE ON SITE FOR REVIEW BY THE SCD INSPECTOR AND/OR THE NEDEP INSPECTOR.
3. THE SCD INSPECTOR OR NEDEP INSPECTOR MAY REQUIRE ADDITIONAL MEASURES FOR STORMWATER POLLUTION PREVENTION BE INSTALLED.
4. INSPECTIONS OF ALL STORMWATER POLLUTION PREVENTION PLAN MEASURES WILL BE CONDUCTED AND DOCUMENTED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
5. WASTE COLLECTION CONTAINERS WILL NOT BE PERMITTED TO OVERFLOW.
6. ANY SPILLS OF HAZARDOUS OR SANITARY WASTES WILL BE CLEANED UP IMMEDIATELY, AND IN ACCORDANCE WITH THE SPILL RESPONSE PLAN. SPILL KITS MUST BE AVAILABLE ONSITE OR ADJACENT TO THE SITE.
7. ANY HAZARDOUS SUBSTANCE RELEASES IN EXCESS OF REPORTABLE QUANTITIES (RQ) ESTABLISHED UNDER 40 C.F.R. 115.117 AND 302 THAT OCCUR WITHIN A 24 HOUR PERIOD MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER (800-424-8802).
8. NO WASTE MAINTENANCE SHALL BE PERFORMED ON SITE.
9. ANY CHEMICALS TO BE STORED ON SITE DURING CONSTRUCTION SHALL BE STORED AS TO ENSURE NO CONTAMINATION FROM THE CHEMICALS WILL OCCUR.
10. CONTRACTOR IS REQUIRED TO DEVELOPE AN ITEMIZED SPILL RESPONSE PLAN IN CONFORMANCE WITH APPLICABLE DEP REQUIREMENTS. SPILL RESPONSE PLAN SHALL BE AVAILABLE ON SITE.
11. CONTRACTOR IS RESPONSIBLE FOR CONDUCTING AND MONITORING SITE INSPECTIONS AND AFTER A RAIN EVENT PER THE NEW JERSEY STORM WATER POLLUTION PREVENTION PLAN (SPP) INSPECTION AND MONITORING PROGRAM. THE INSPECTIONS WILL REQUIRE ONSITE MANAGEMENT PRACTICES (OMP) PERFORMANCE DURING THE CONSTRUCTION PROJECT. OMP SHALL BE EVALUATED FOR PROPER INSTALLATION AND FUNCTIONING AND WHETHER ADDITIONAL MEASURES ARE REQUIRED. INSPECTIONS WILL BE DOCUMENTED ON THE "SPP CHECKLIST AND INSPECTION FORM". INSPECTION REPORTS SHALL BE KEPT ON SITE.



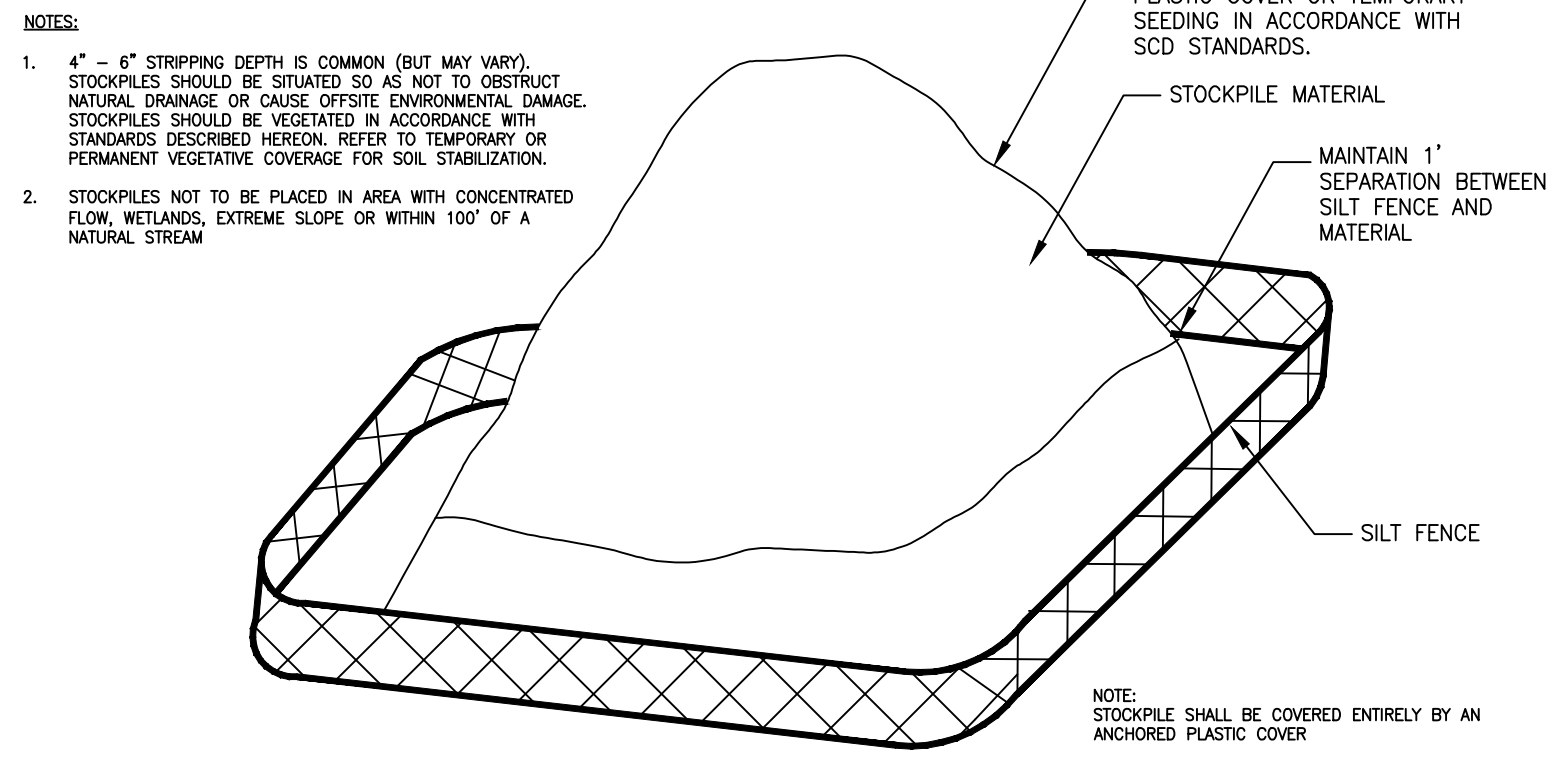
**2 CONCRETE WASHOUT FACILITY**  
 C-105.2 NOT TO SCALE

**NOTE:**

1. FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POST SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1 1/2 INCHES.
2. "SUPER" SILT FENCE - A METAL FENCE WITH 6 INCH OR SMALLER MESH OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC. POSTS MAY BE SPACED LESS THAN 8 FEET ON CENTER AND MAY BE CONSTRUCTED OF HEAVY WOOD OR METAL AS NEEDED TO WITHSTAND HEAVY SEDIMENT LOADING. THIS PRACTICE IS APPROPRIATE WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED. "SUPER" SILT FENCE IS NOT TO BE USED IN PLACE OF PROPERLY DESIGNED OVERSICONS (PG. 15-1) WHICH MAY BE NEEDED TO CONTROL SURFACE RUNOFF RATES AND VELOCITIES.
3. A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, CROMATEKS, WASHERS ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR ADDED STRENGTH.
4. SEDIMENT SHALL BE REMOVED FROM THE UPSTREAM FACE OF THE BARRIER WHEN IT HAS REACHED A DEPTH OF 3/8 THE BARRIER HEIGHT.
5. REPAIR OR REPLACE BARRIER (FABRIC, POSTS, BALES ETC.) WHEN DAMAGED.
6. BARRIERS SHALL BE INSPECTED DAILY FOR SIGNS OF DETEIORATION AND SEDIMENT REMOVAL.



**1 SILT FENCE**  
 C-105.2 NOT TO SCALE



**5 TOPSOIL STOCKPILE**  
 C-105.2 NOT TO SCALE

**NOTES:**

1. 4" - 6" STRIPPING DEPTH IS COMMON (BUT MAY VARY). STOCKPILES SHOULD BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFFSITE ENVIRONMENTAL DAMAGE. STOCKPILES SHOULD BE SITUATED IN ACCORDANCE WITH STANDARDS DESCRIBED HEREON. REFER TO TEMPORARY OR PERMANENT VEGETATIVE COVERAGE FOR SOIL STABILIZATION.
2. STOCKPILES NOT TO BE PLACED IN AREA WITH CONCENTRATED FLOW, WETLANDS, EXTREME SLOPE OR WITHIN 100' OF A NATURAL STREAM.

NOTE: STOCKPILE SHALL BE COVERED ENTIRELY BY AN ANCHORED PLASTIC COVER.

**PROCEDURES FOR SOIL COMPACTION MITIGATION**

1. PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.
3. SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE 6" MINIMUM DEPTH) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

**COMPACTION TESTING METHODS**

- A. PROBING WIRE TEST (SEE DETAIL 6/C-105.1)
- B. HAND-HELD PENETROMETER TEST (SEE DETAIL 6/C-105.1)
- C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE 6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

**SOIL COMPACTION TESTING REQUIREMENTS**

1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN. SEE EXAMPLE SITE PLAN AT: [HTTP://WWW.NJ.GOV/AGRICULTURE/DIVISIONS/ANR/NRC/NJERROSION.HTML](http://www.nj.gov/agriculture/divisions/anr/nrc/njerrosion.html)
3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE SOIL COMPACTION MITIGATION VERIFICATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT OR [HTTP://WWW.NJ.GOV/AGRICULTURE/DIVISIONS/ANR/NRC/NJERROSION.HTML](http://www.nj.gov/agriculture/divisions/anr/nrc/njerrosion.html). THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

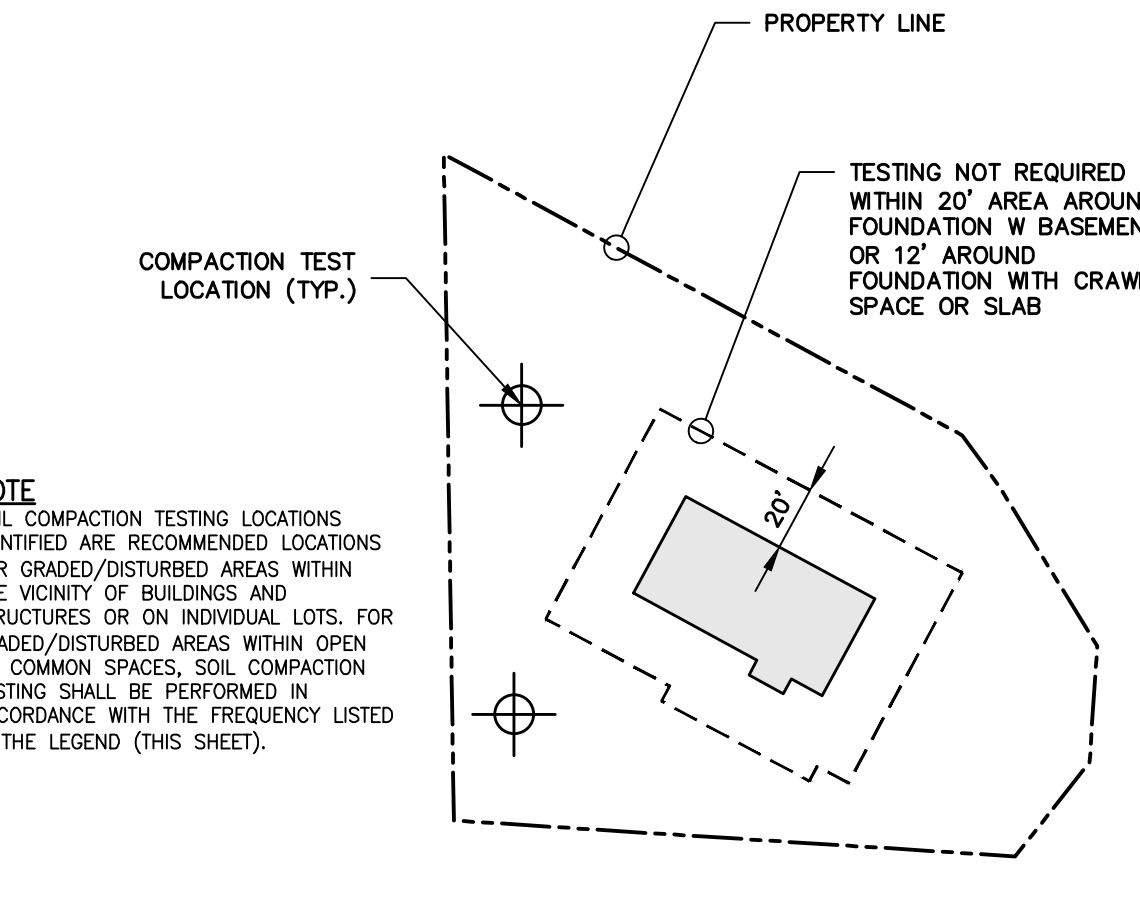
**TOP SOILING NOTES**

1. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE.
2. A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5" (MINIMUM 4") FIRMED IN PLACE IS REQUIRED.
3. PURSUANT TO THE REQUIREMENTS IN SECTION 7 OF THE STANDARD FOR PERMANENT VEGETATIVE STABILIZATION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT PERMANENT VEGETATIVE COVER BECOMES ESTABLISHED ON AT LEAST 80% OF THE SOILS TO BE STABILIZED WITH VEGETATION. FAILURE TO ACHIEVE THE MINIMUM COVERAGE MAY REQUIRE ADDITIONAL WORK TO BE PERFORMED.

**ADDITIONAL NOTES FOR PROJECTS WITH BASINS**

1. BASIN MUST BE PROPERLY CONSTRUCTED AND PERMANENTLY STABILIZED, AND CONDUIT OUTLET PROTECTION INSTALLED, PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
2. THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL HAVE SPECIFIC REQUIREMENTS FOR TOPSOILING, THE INSTALLATION OF SOD, TEMPORARY AND/OR PERMANENT VEGETATIVE COVER AND LAND GRADING. THE TEXT FOUND ON PAGES 4-1 (SEC. 1B), 6-2 (SEC. 2D), 7-1 (SEC. 1C) 8-2 (SEC. 3C) AND 19-4 (SECOND TO LAST SECTION) SERVE TO HELP MINIMIZE SOIL COMPACTION AND REDUCE MAINTENANCE.
3. ENTITY RESPONSIBLE FOR OVERALL MAINTENANCE OF THE STORMWATER MEASURE DURING AND AFTER CONSTRUCTION ON THE PLAN:

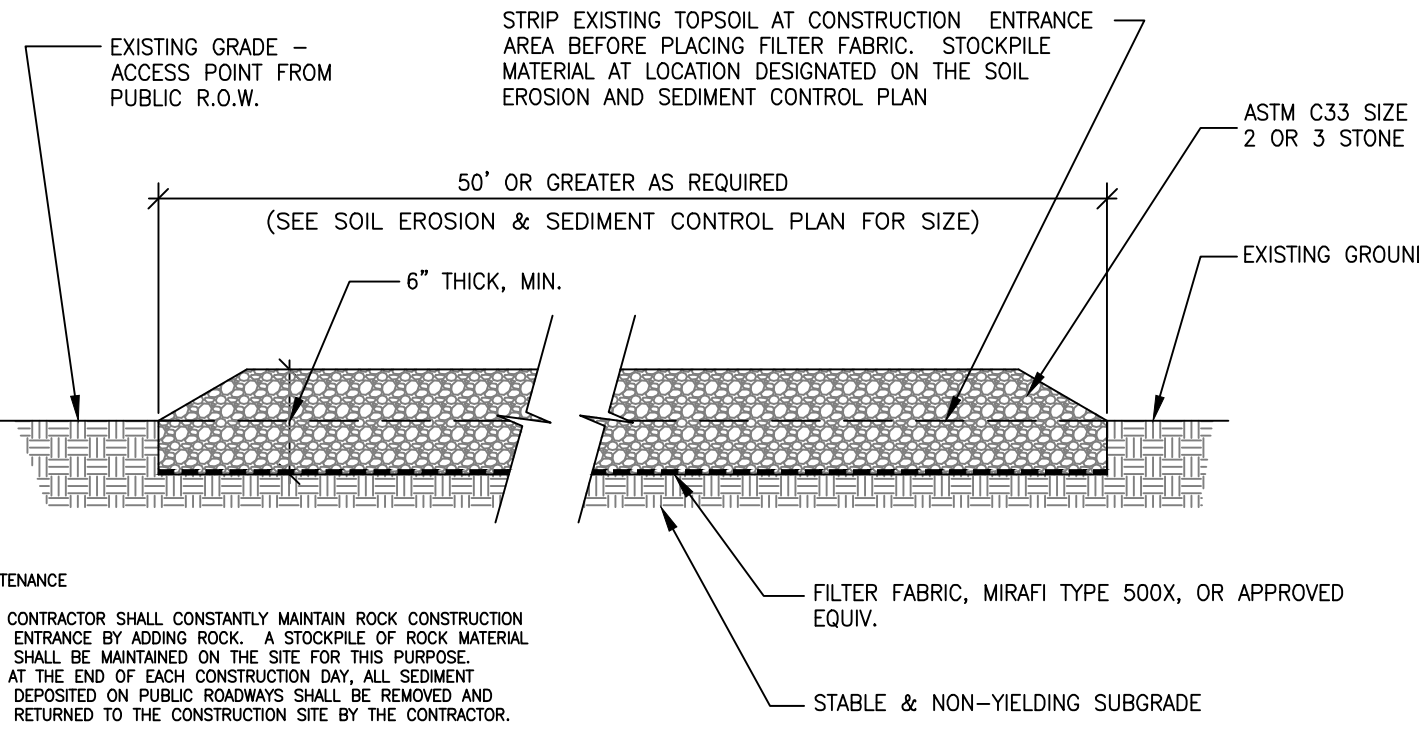
EVERGREEN ENERGY SOLUTIONS  
 1485 LANES MILL ROAD  
 LAKEWOOD, NJ 08701  
 (732) 592-5111



**NOTE:**

1. MAINTENANCE
  - A. CONTRACTOR SHALL CONSTANTLY MAINTAIN ROCK CONSTRUCTION ENTRANCE BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL SHALL BE MAINTAINED ON THE SITE FOR THIS PURPOSE.
  - B. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PUBLIC ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE BY THE CONTRACTOR.

**7 SIMPLIFIED COMPACTION TESTING METHODS**  
 C-105.2 NOT TO SCALE

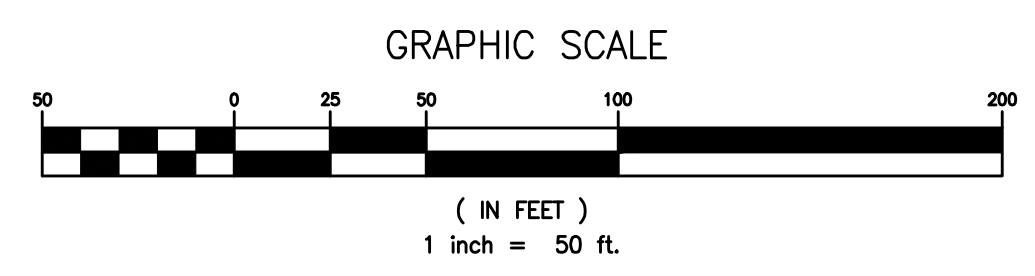
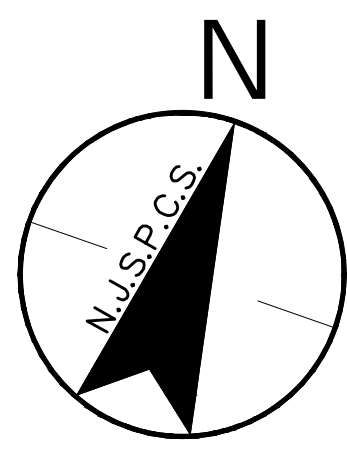
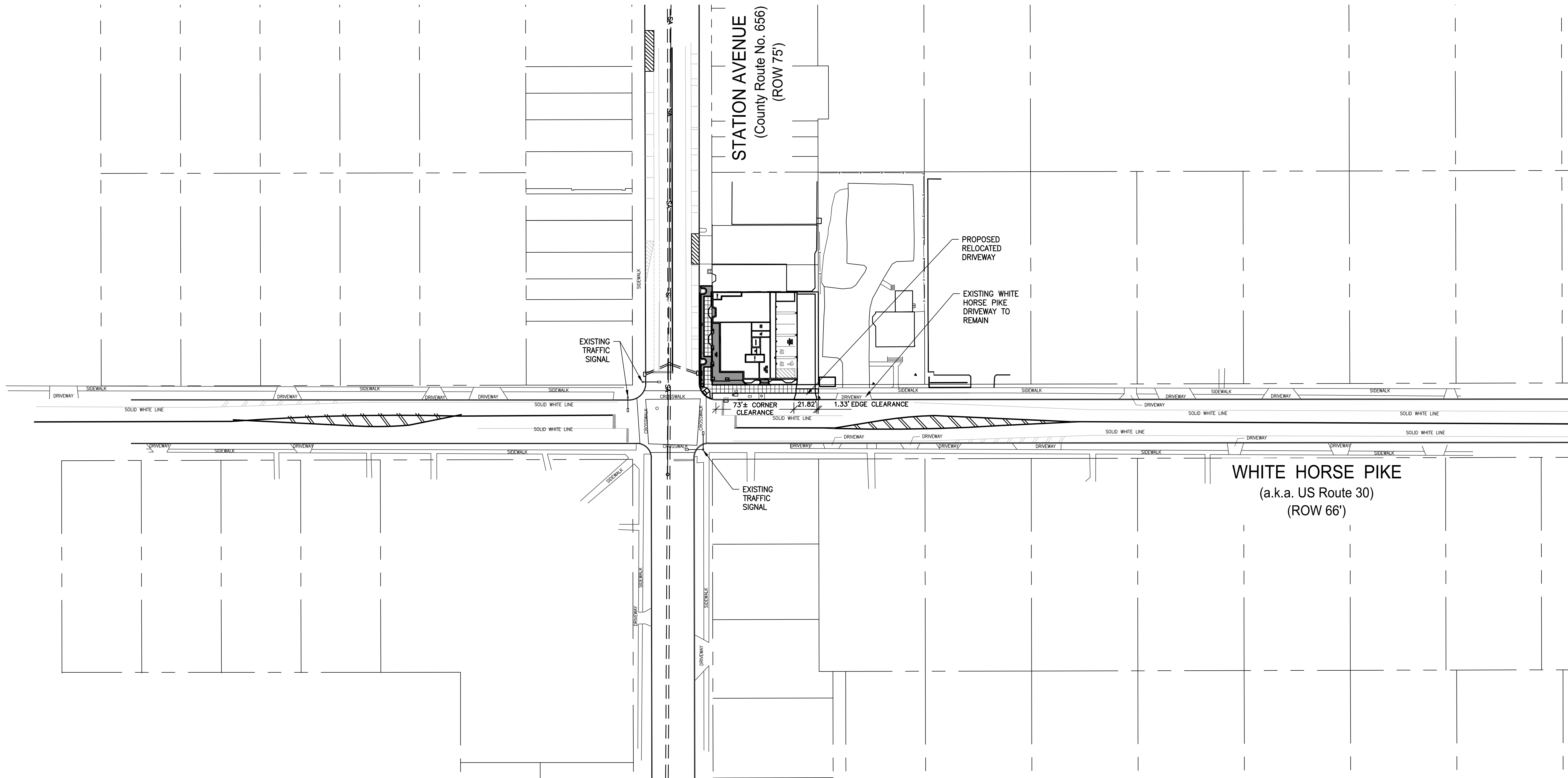


**4 STABILIZED CONSTRUCTION ENTRANCE**  
 C-105.2 NOT TO SCALE

**NOTE:**

1. MAINTENANCE
  - A. CONTRACTOR SHALL CONSTANTLY MAINTAIN ROCK CONSTRUCTION ENTRANCE BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL SHALL BE MAINTAINED ON THE SITE FOR THIS PURPOSE.
  - B. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PUBLIC ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE BY THE CONTRACTOR.





Revision	By	Date
1. SITE PLAN APPLICATION	TAB	03.19.24
	CWQ	
	Appd.	MM/DD/YY

Project: 301-303 STATION AVENUE  
 BLOCK 25, LOTS 16 & 17.01  
 HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY

Client: BROKEN GROUND PROPERTIES LLC

Title: ACCESS PERMIT SITE PLAN

Permit-Seal

**CLIFTON W. QUAY**  
 PROFESSIONAL ENGINEER, PROFESSIONAL PLANNER  
 N.J.P.E. LICENSE #42870, N.J.P.P. LICENSE #180653

*Clifton W. Quay*  
 3.19.24  
 DATE

Project Number: 192520466

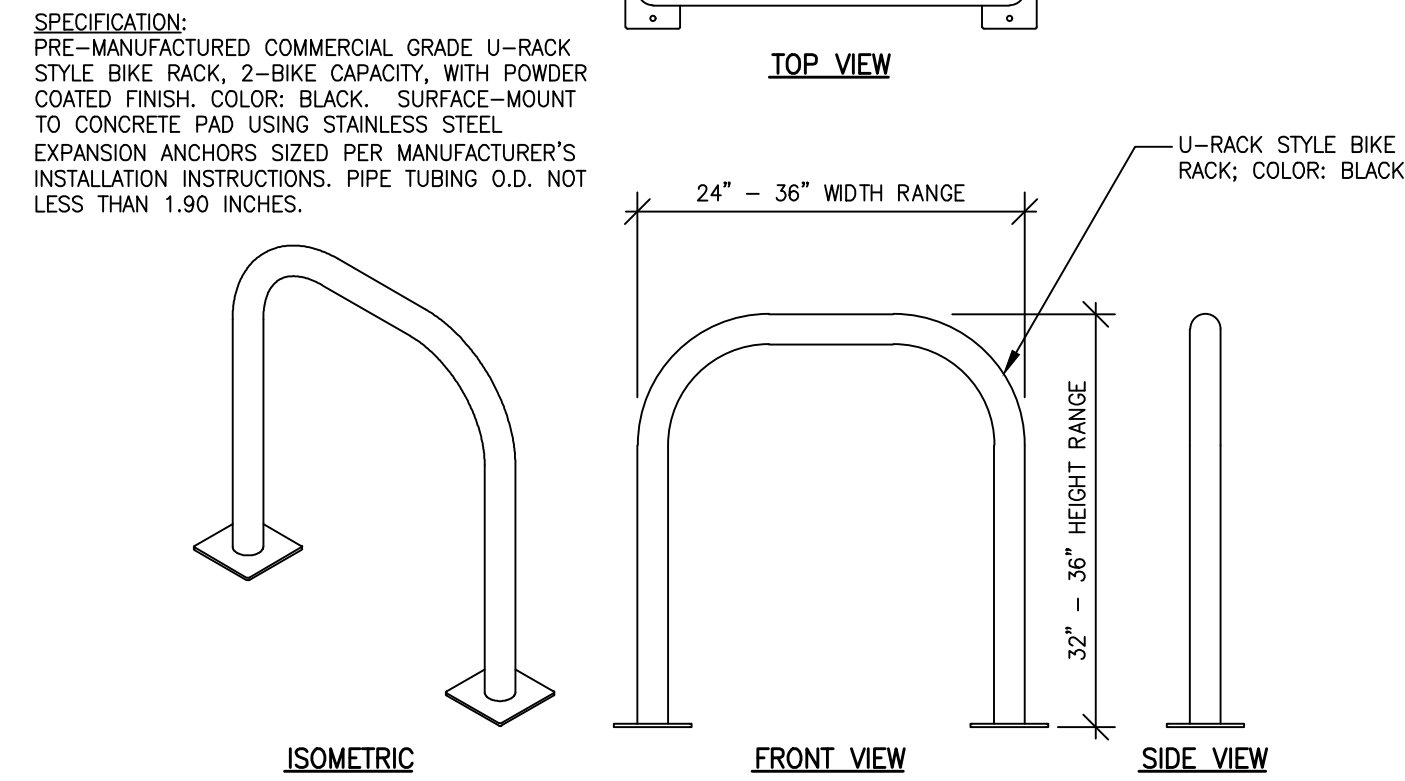
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Dwn.	Chkd.	Degn.	MM/DD/YY

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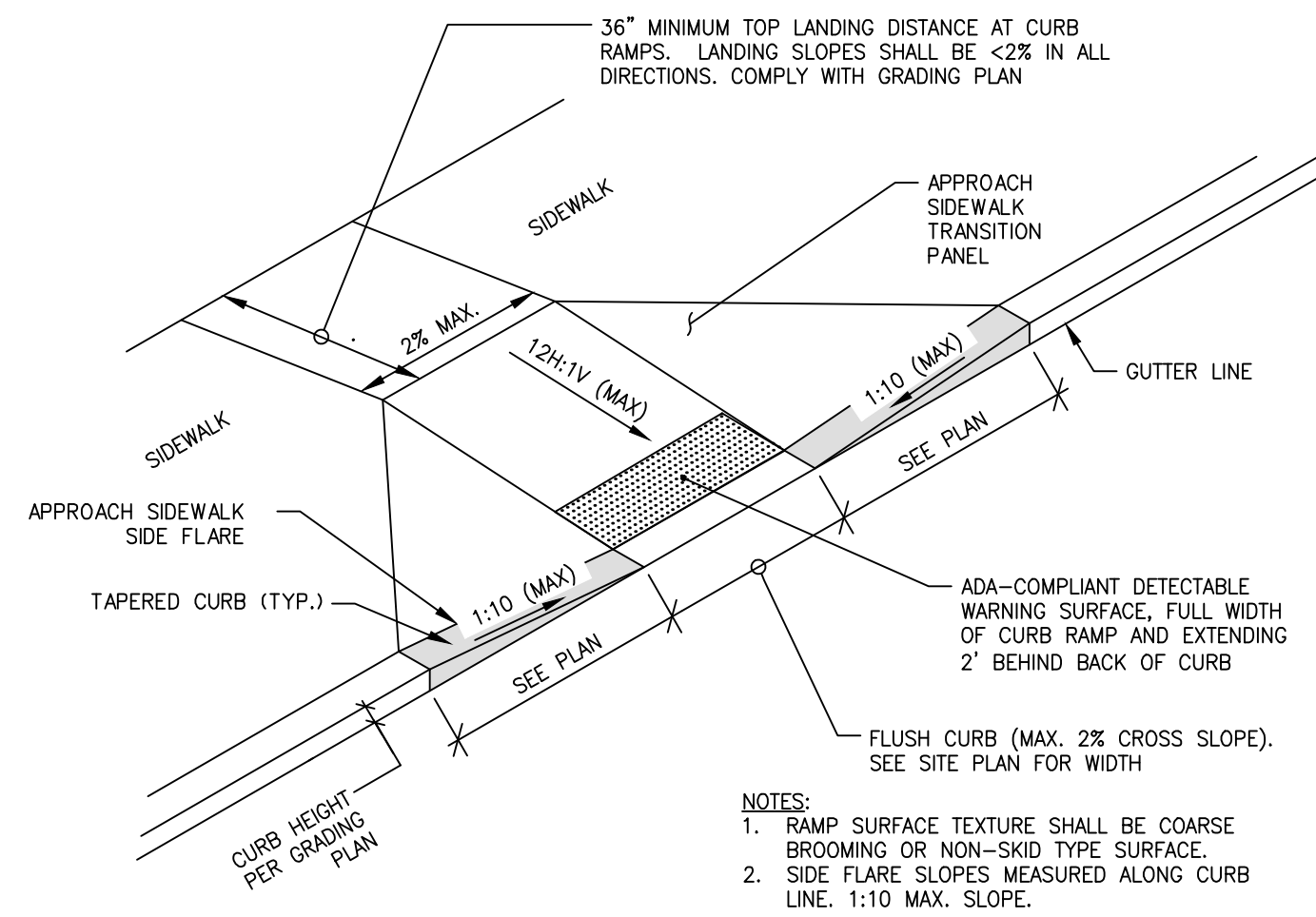
Drawing No. C-102.1

Revision Sheet

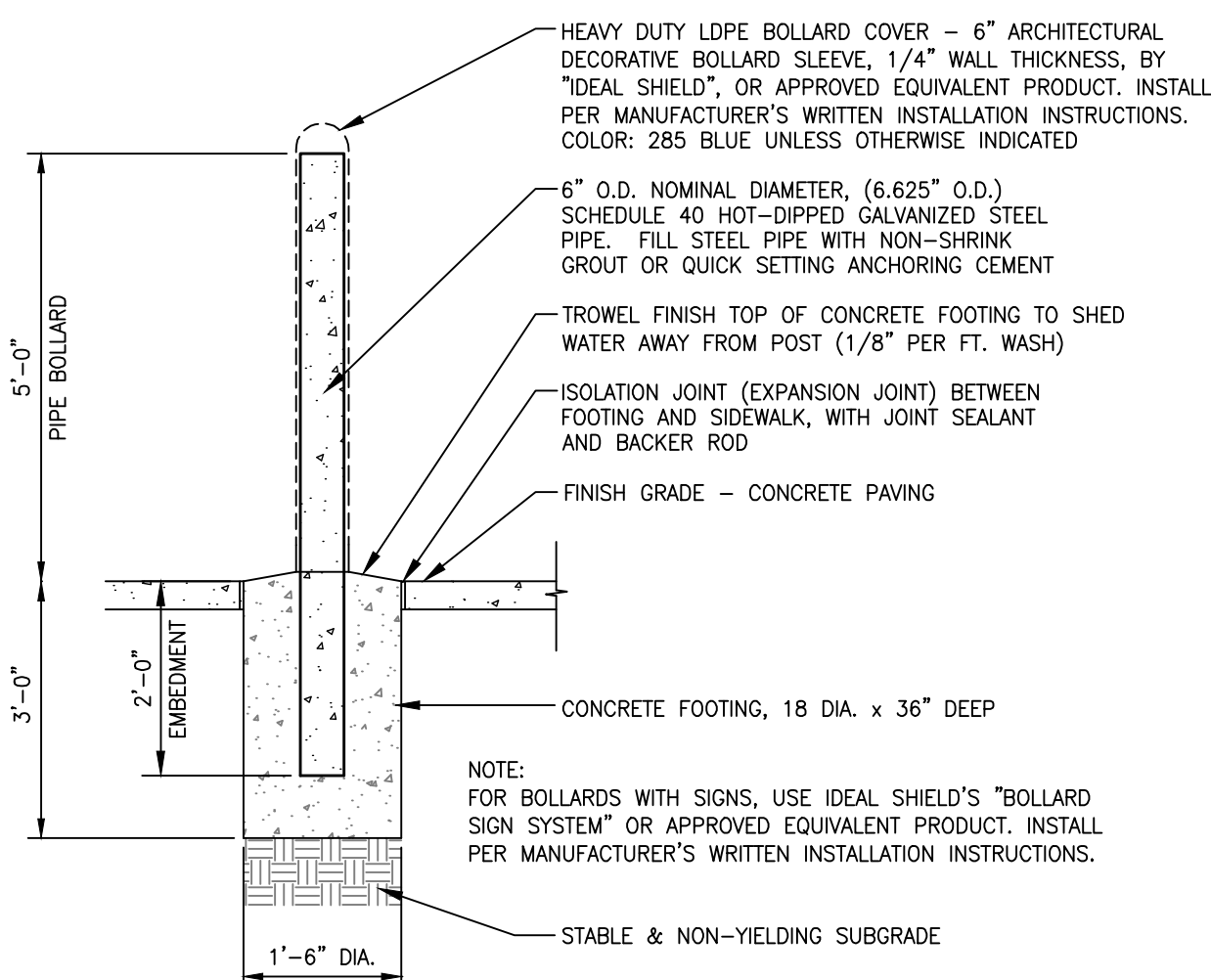
1 9 of 14



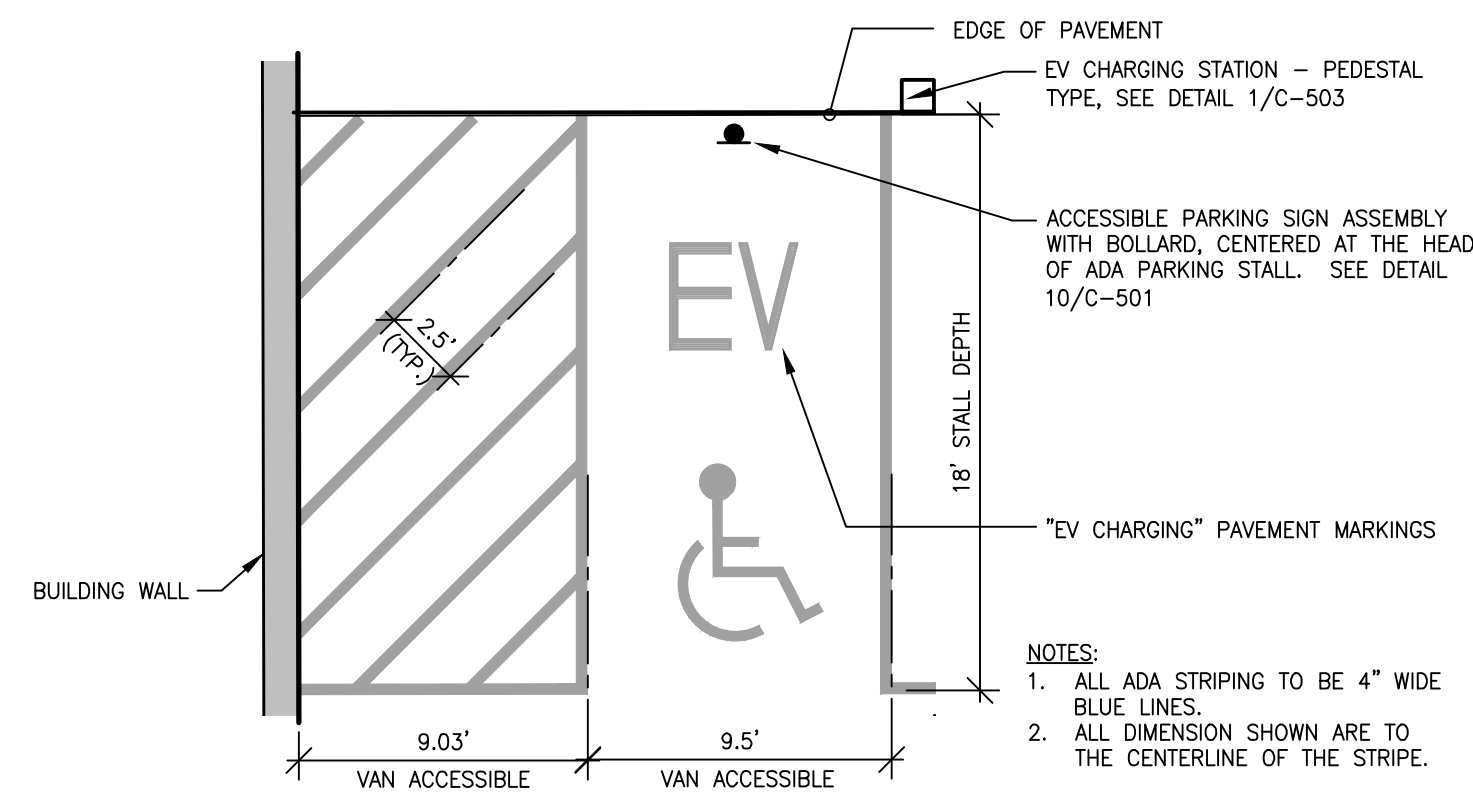
15 BIKE RACK  
C-501 NOT TO SCALE



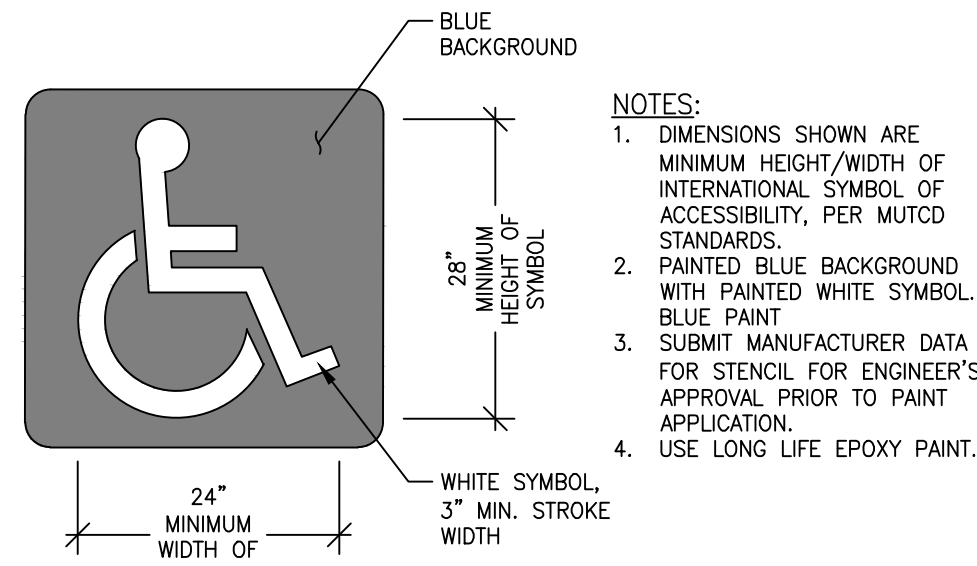
14 CURB RAMP - PERPENDICULAR  
C-501 NOT TO SCALE



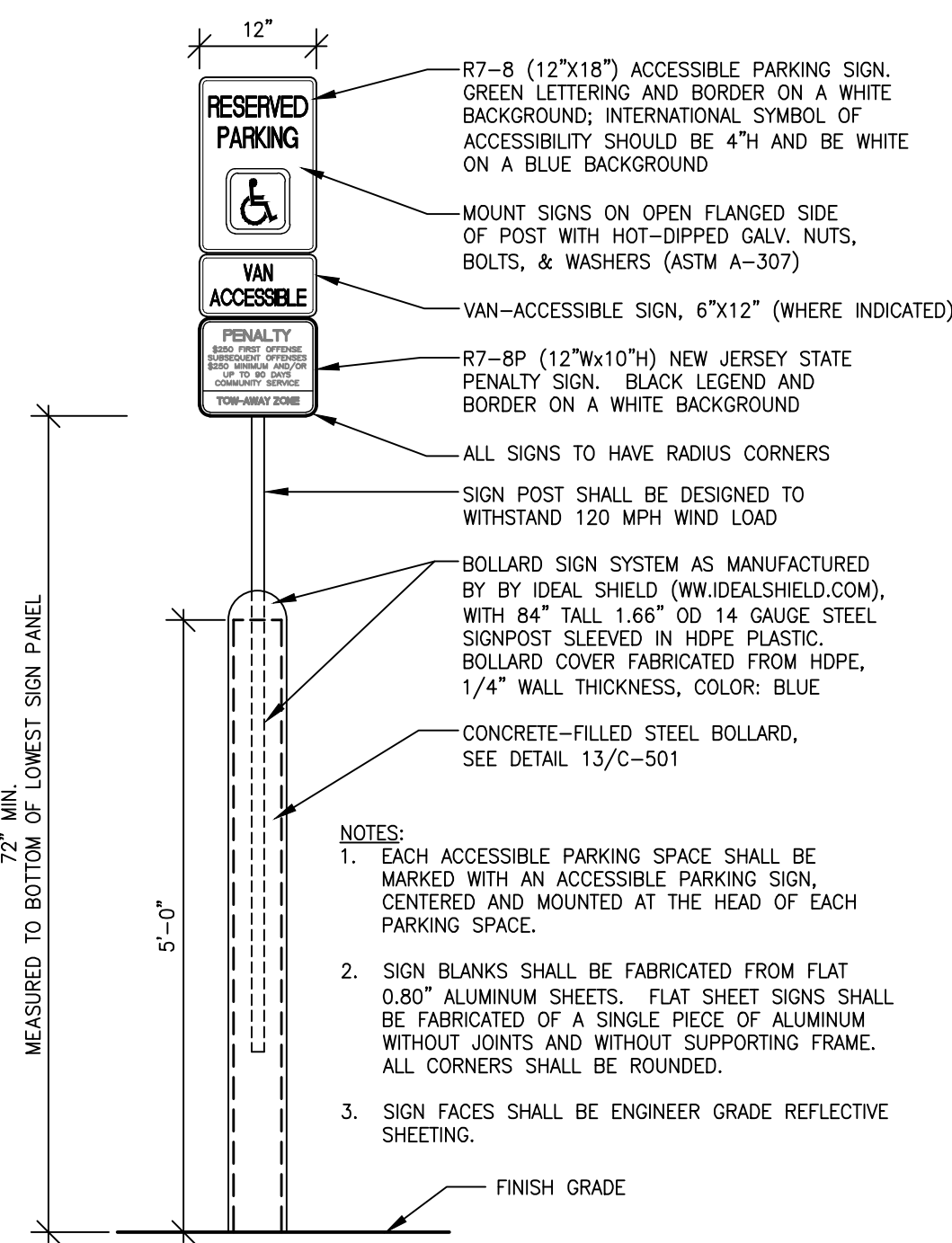
13 STEEL BOLLARD WITH PVC SLEEVE COVER  
C-501 NOT TO SCALE



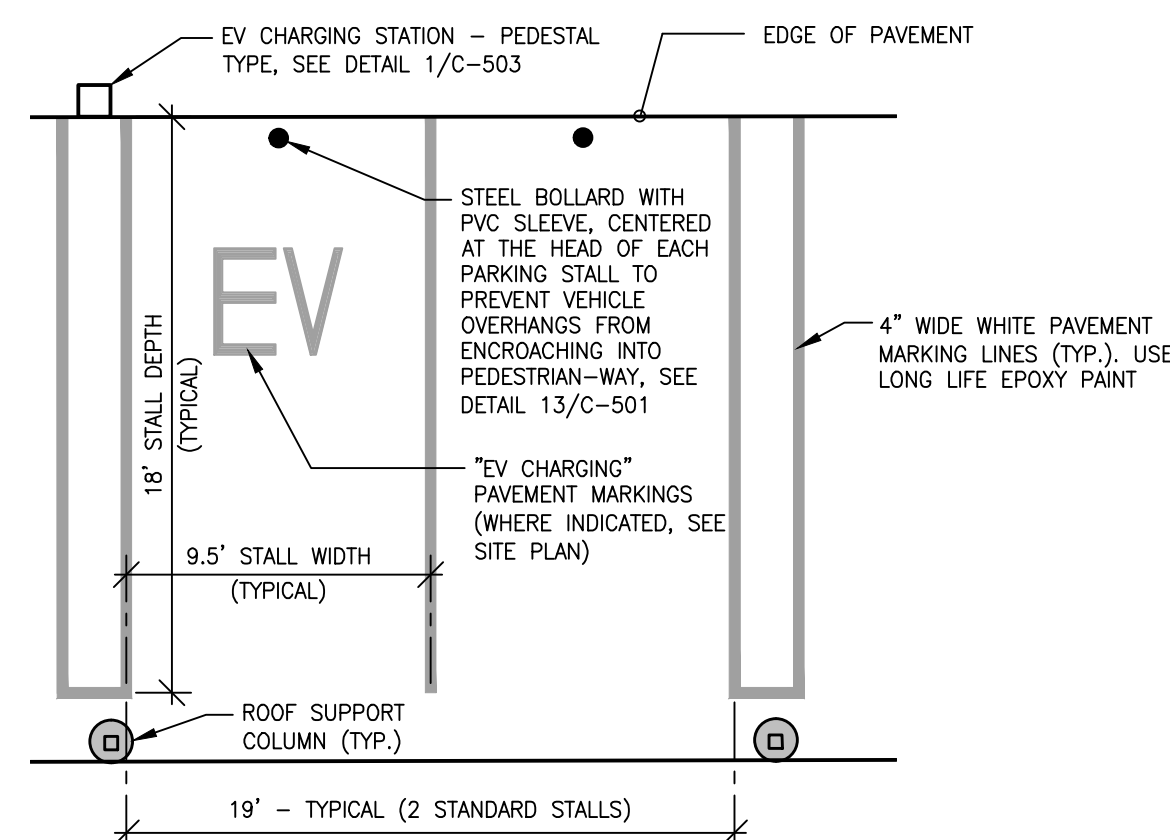
12 ADA PARKING STALL PAVEMENT MARKINGS  
C-501 NOT TO SCALE



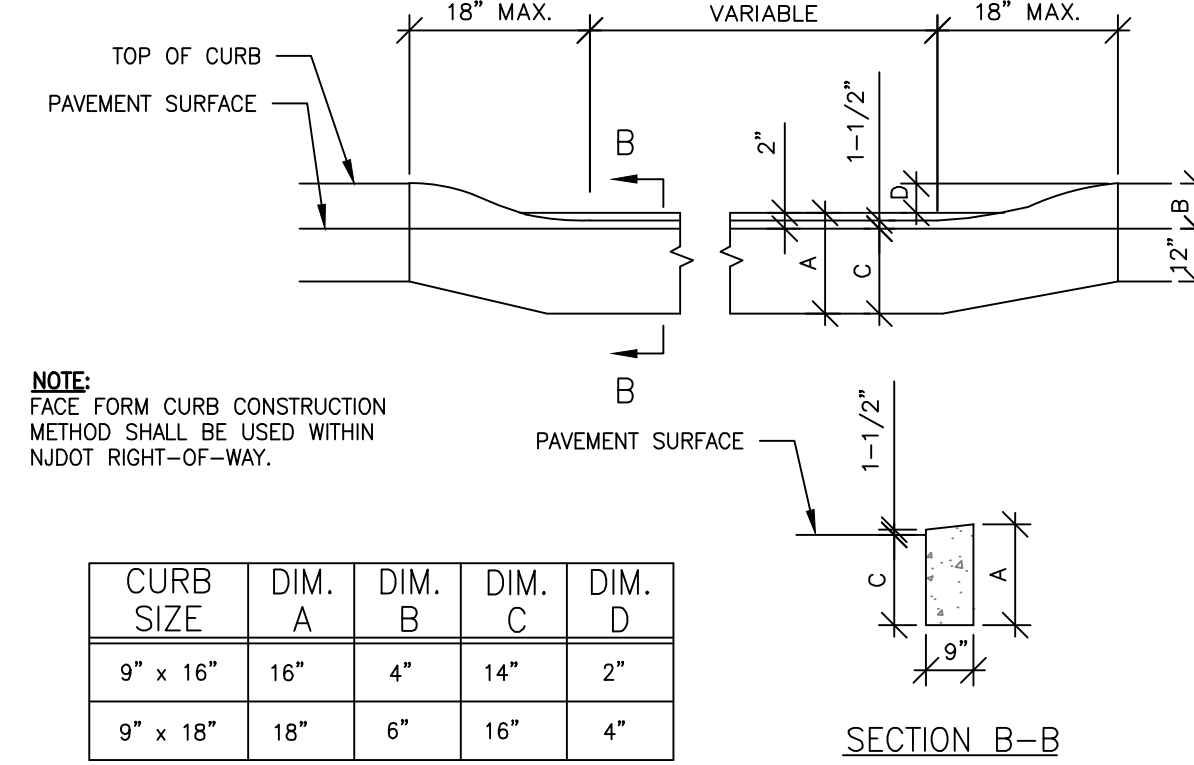
11 ADA PAVEMENT MARKING SYMBOL  
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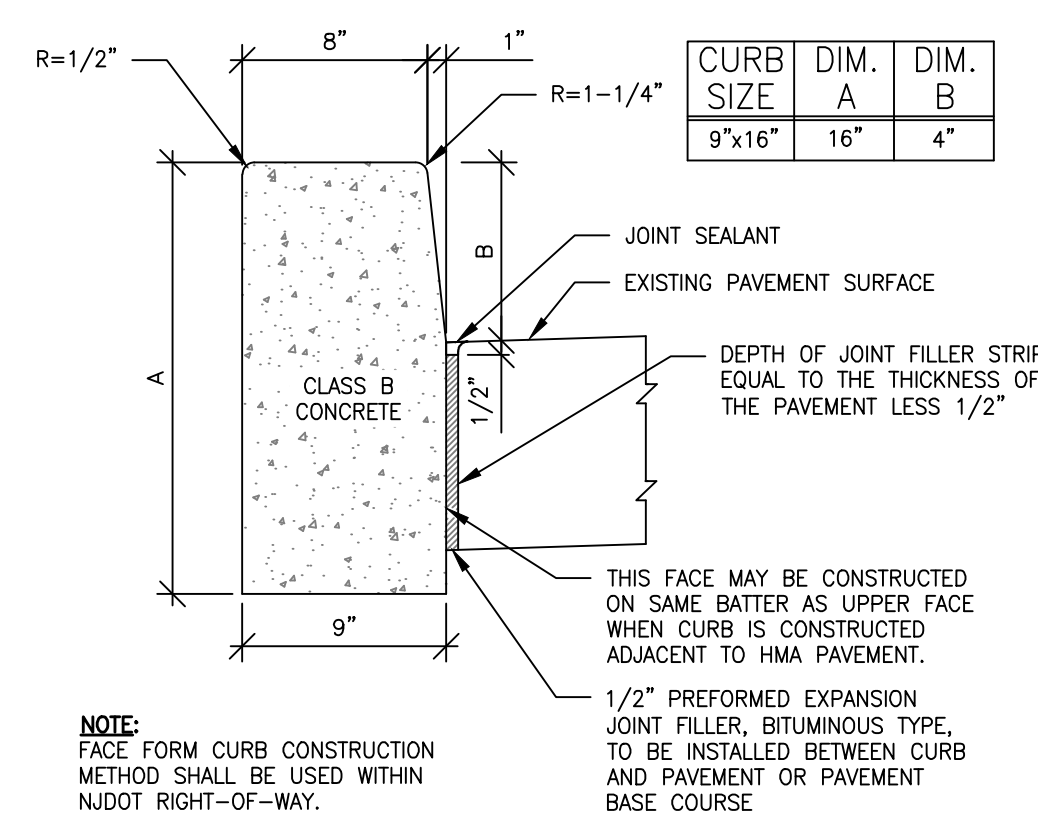
10 ADA PARKING SIGN W/ BOLLARD  
C-501 NOT TO SCALE



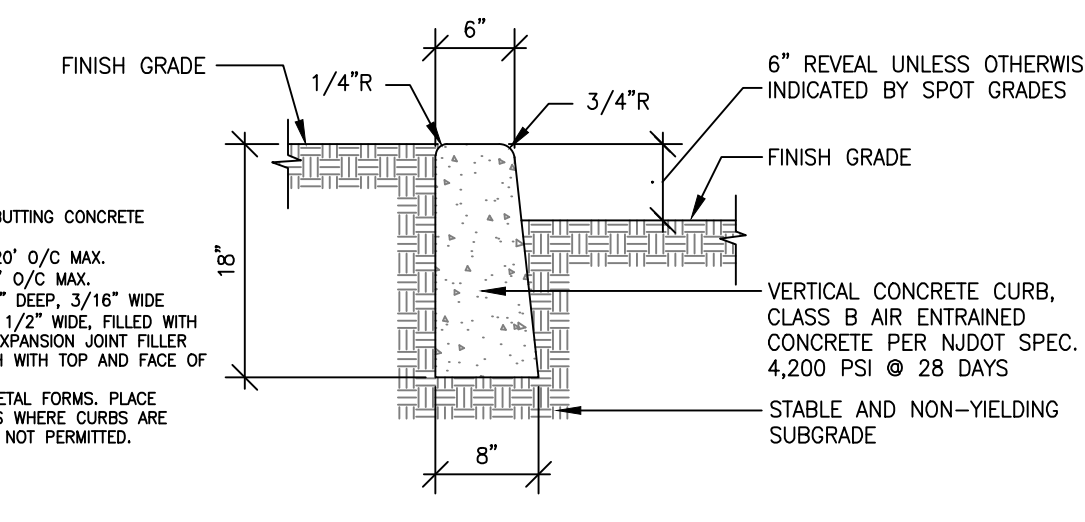
9 STANDARD PARKING SPACE  
C-501 NOT TO SCALE



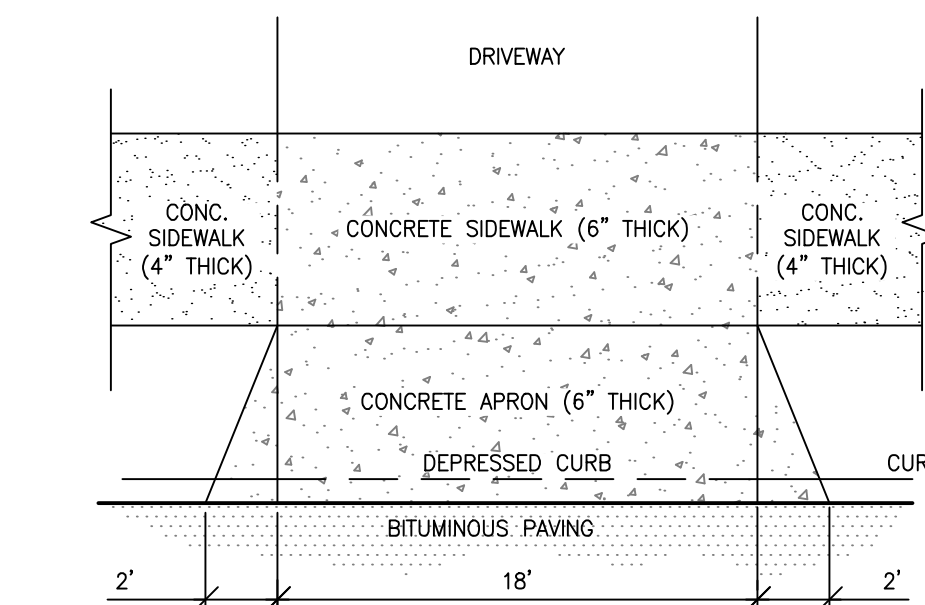
8 DEPRESSED CONCRETE CURB (STATE)  
C-501 NOT TO SCALE



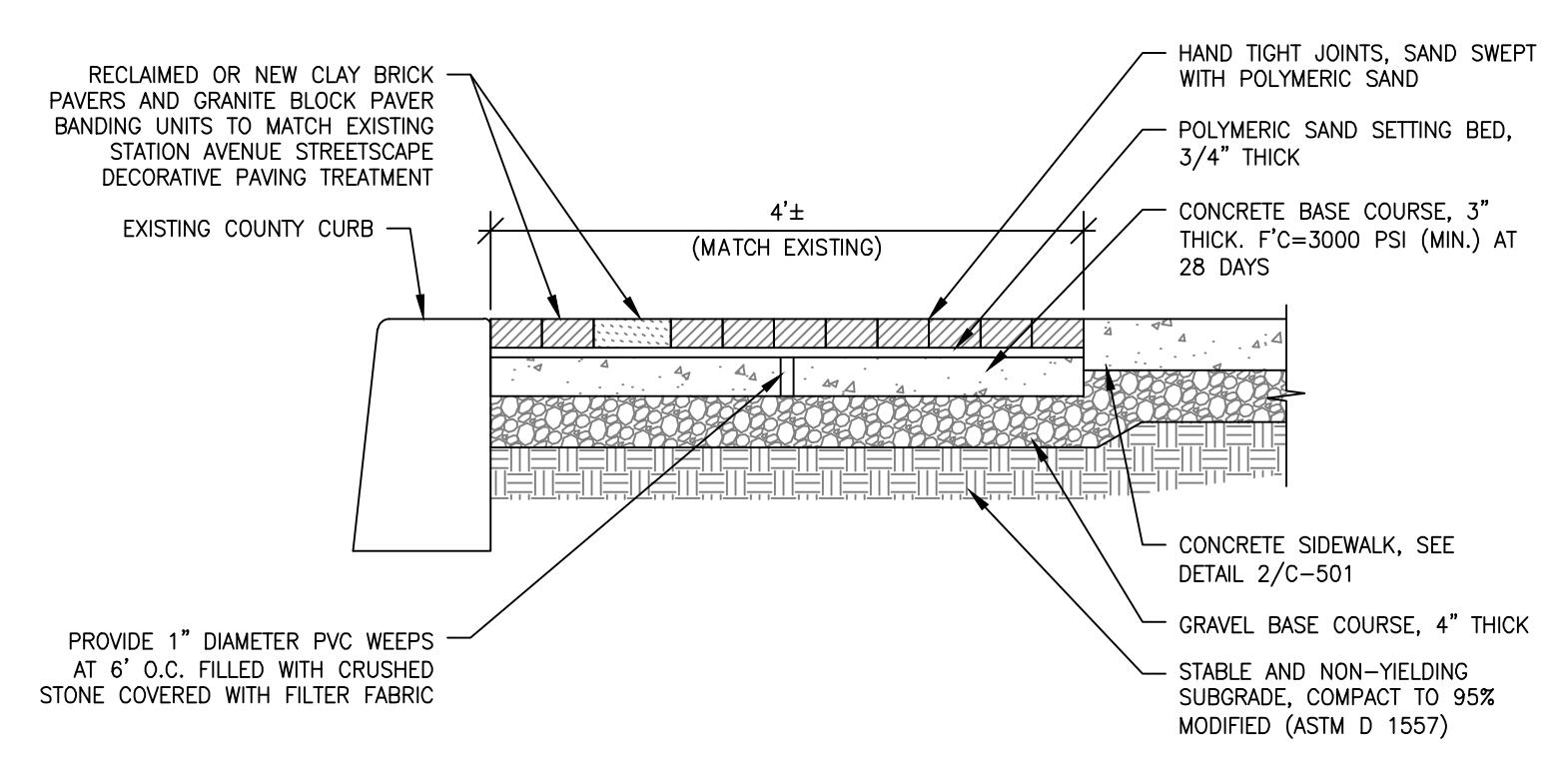
7 CONCRETE CURB (STATE)  
C-501 NOT TO SCALE



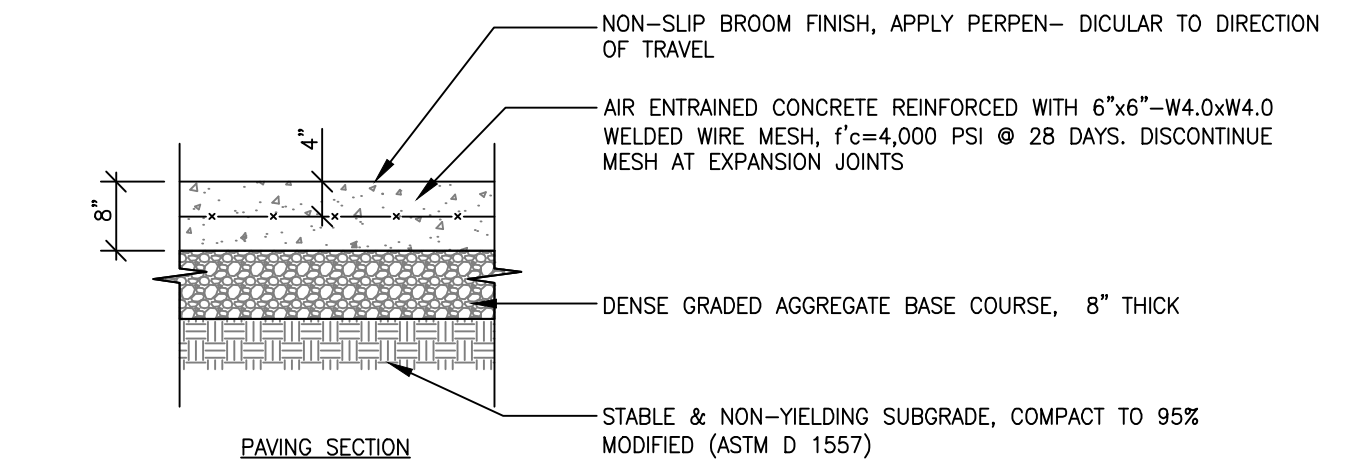
6 CONCRETE CURB (LOCAL)  
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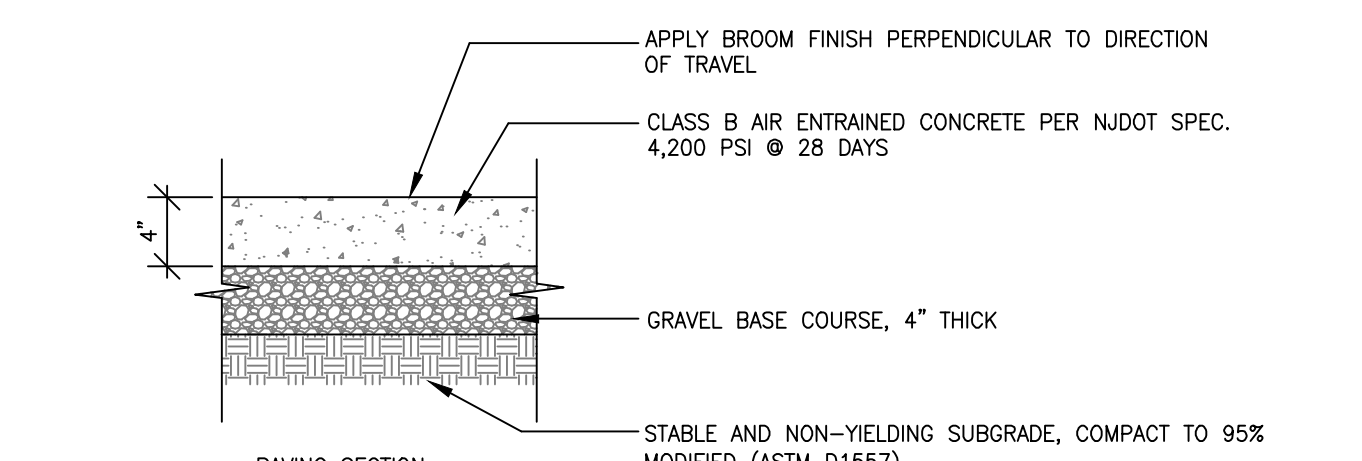
5 CONCRETE DRIVEWAY APRON  
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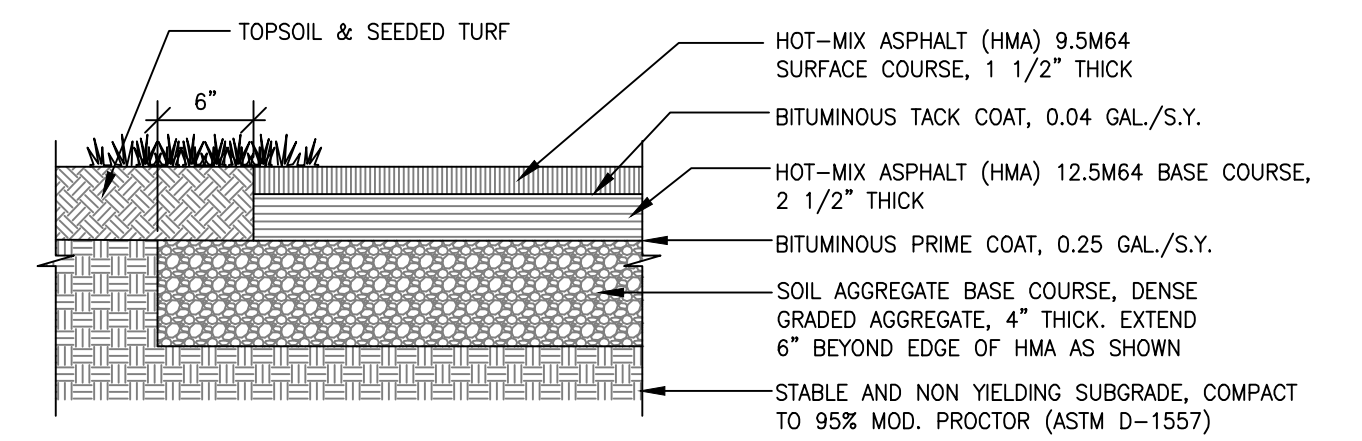
4 PAVER TREATMENT AT SIDEWALK  
C-501 NOT TO SCALE



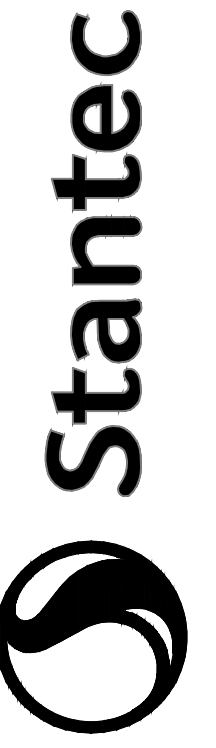
3 HEAVY DUTY CONCRETE PAVING  
C-501 NOT TO SCALE



2 CONCRETE SIDEWALK  
C-501 NOT TO SCALE



1 ASPHALT PAVING  
C-501 NOT TO SCALE



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NO.	DATE	BY	APP'D.	REVISION
1	03.19.24	CWQ	AWQ	SITE PLAN APPLICATION

Project: 501-803 STATION AVENUE  
BLOCK 25, LOTS 16 & 17/01  
HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY

Client: BROKEN GROUND PROPERTIES, LLC

Permit: Seal

Title: DETAIL SHEET

Project Number: 192520466

MAI CWQ SAK 02.13.24  
Dwn Chd. Degr. MM/DD/YY

Scale: AS NOTED

Drawing No. C-501

Revision Sheet

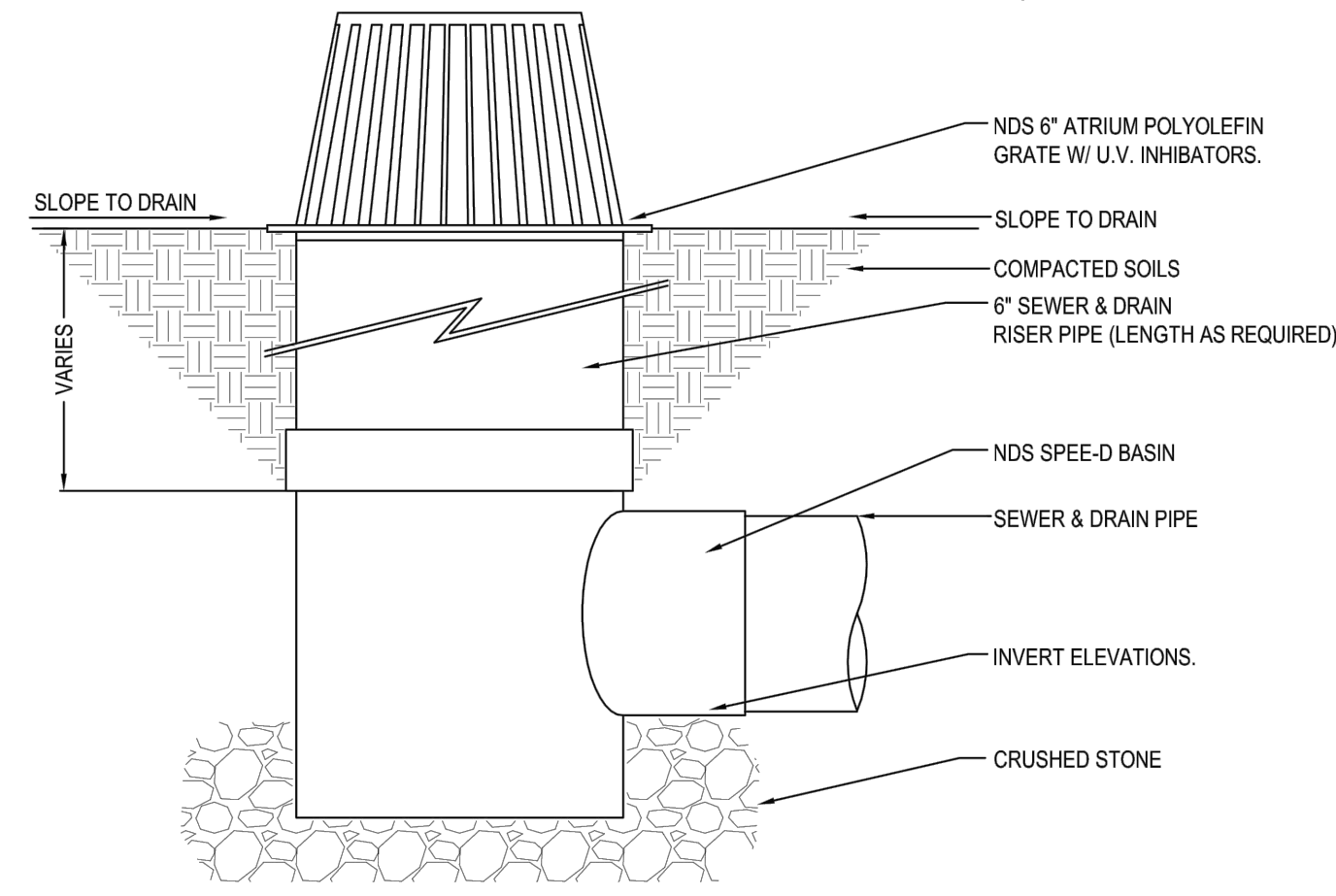
1 10 of 14

CLIFTON W. QUAY  
PROFESSIONAL ENGINEER, PROFESSIONAL PLANNER  
N.J.P.E. LICENSE #42870, N.J.P.P. LICENSE #L06953

*Clu* 3.19.24  
DATE



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851 NORTH HARVARD AVE.  
LINDSAY, CA 93247  
TOLL FREE: 1-800-726-1994  
PHONE: (559) 562-9888  
FAX: (559) 562-4488  
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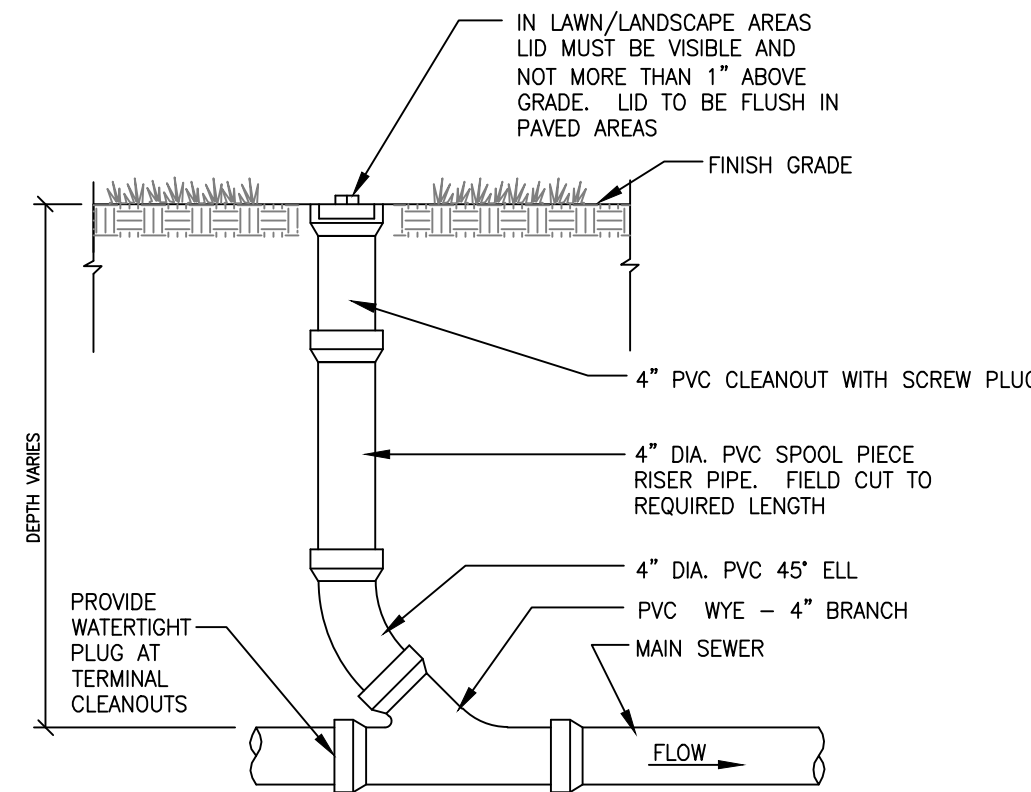


- NOTES:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  2. DO NOT SCALE DRAWING.
  3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
  4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

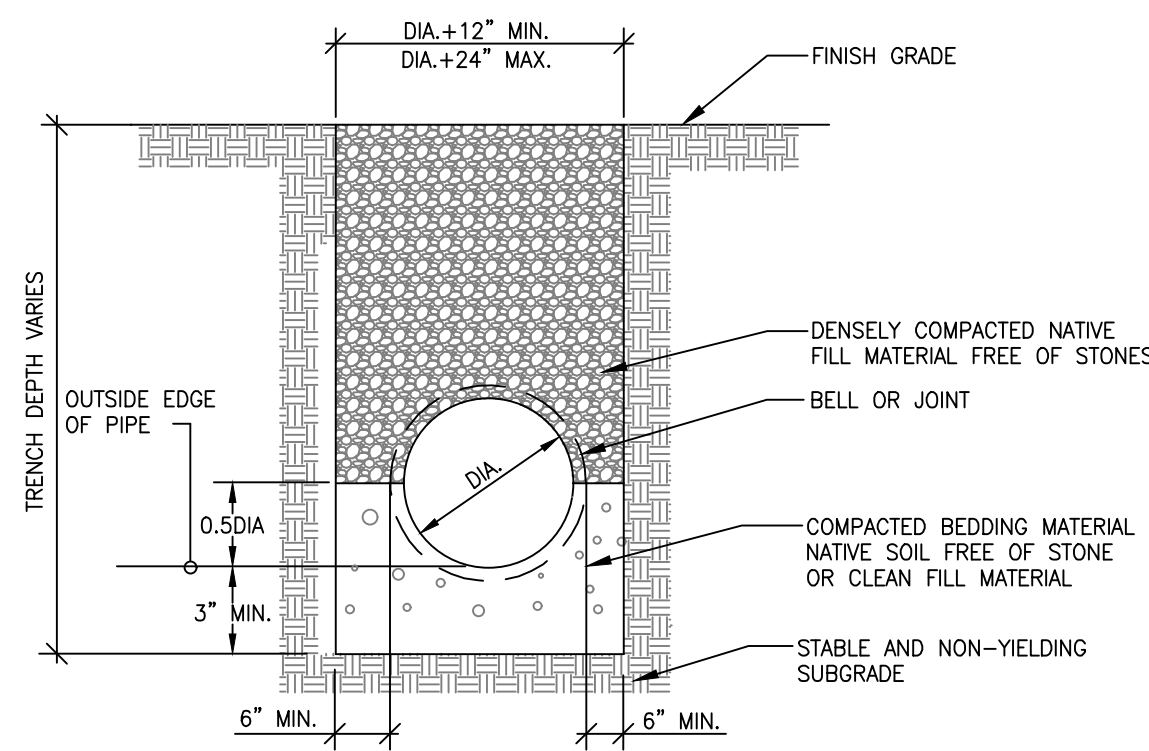
**4 ROUND SPEED BASINS**  
C-502 ATRIUM GRATE WITH SPEED-D BASIN



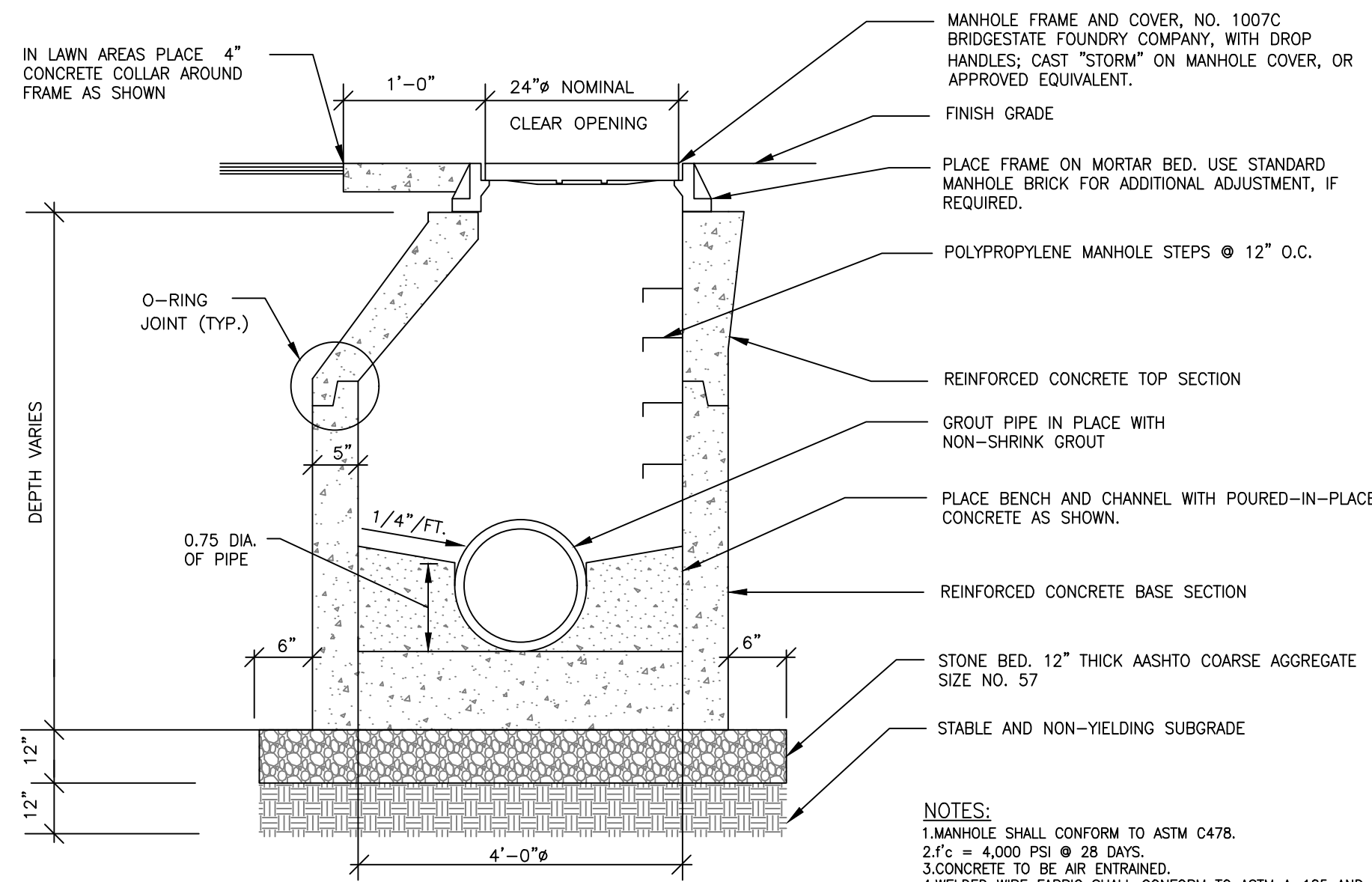
REVISION DATE 8-24-2015



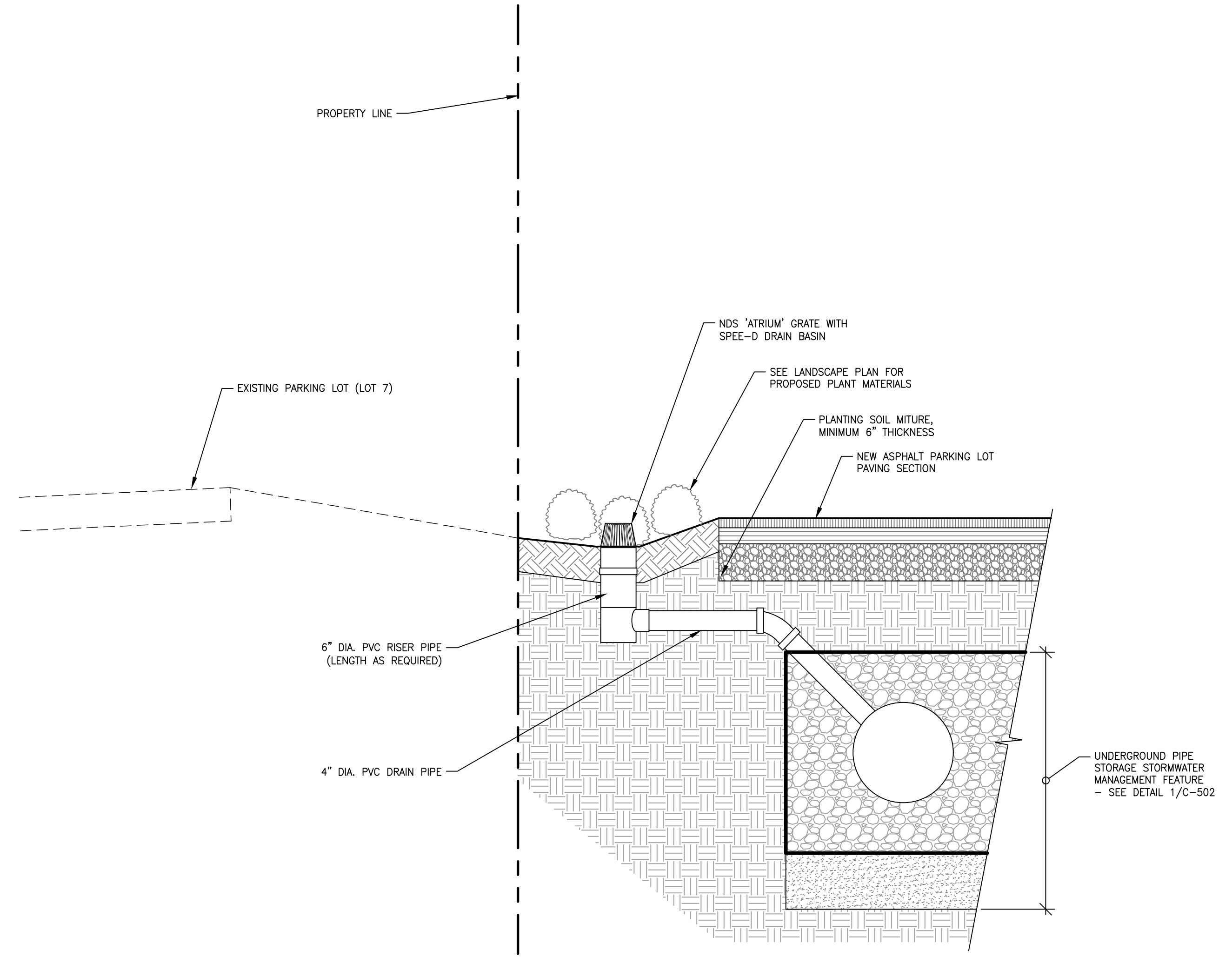
**6 STORM CLEANOUT**  
C-502 NOT TO SCALE



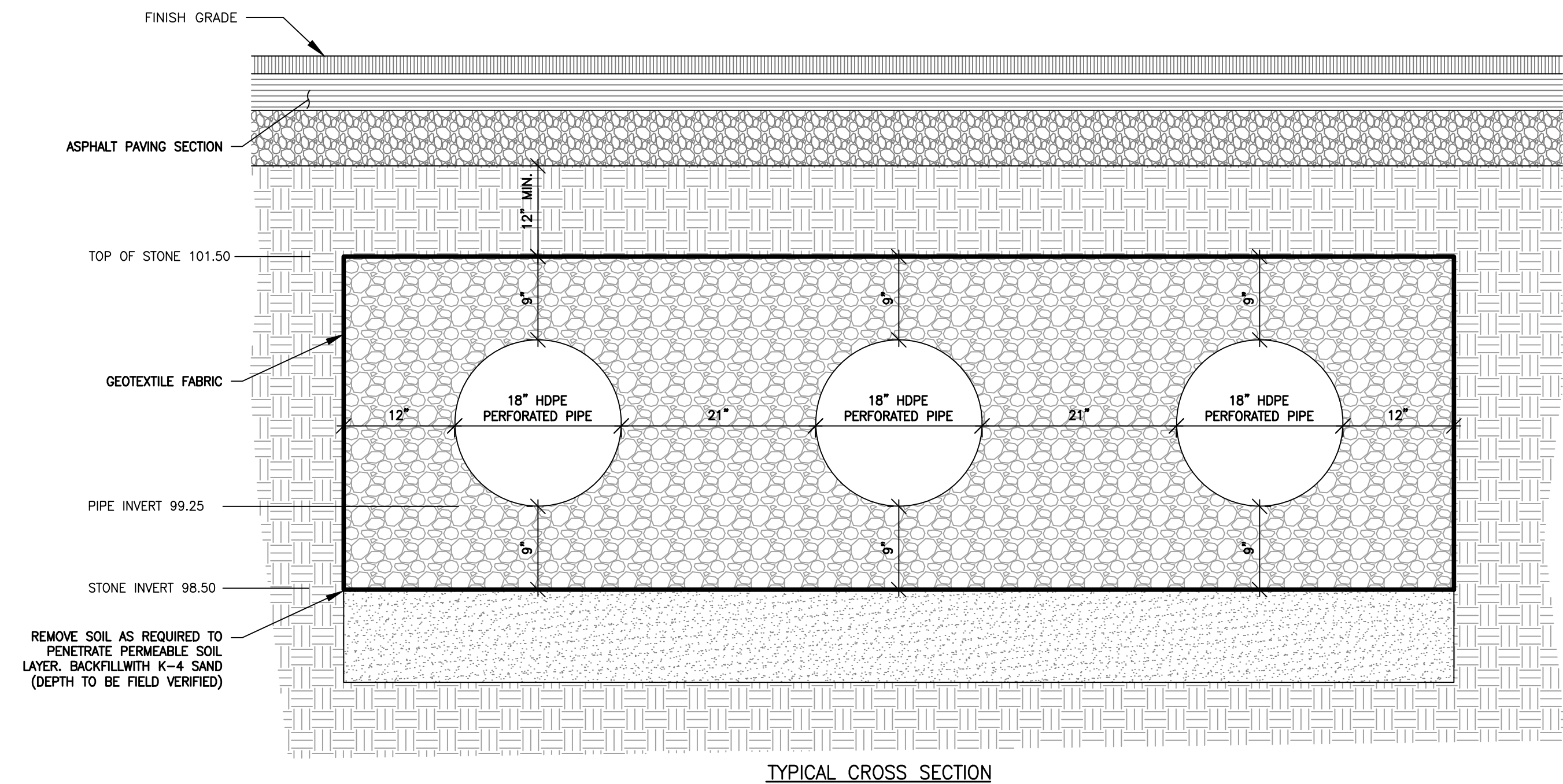
**5 PIPE BEDDING/TRENCH**  
C-502 NOT TO SCALE



**3 STORM MANHOLE**  
C-502 NOT TO SCALE



**2 TYPICAL SECTION AT AREA DRAIN**  
C-502 NOT TO SCALE



**1 UNDERGROUND PIPE STORAGE**  
C-502 NOT TO SCALE



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Revision	By	Date
1	MM/DD/YY	03/19/24
	App'd	

Project: 501-303 STATION AVENUE  
BLOCK 25, LOTS 16 & 17.01  
HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY

Permit: Seal

Client: BROKEN GROUND PROPERTIES LLC  
Title: DETAIL SHEET 2

CLIFTON W. QUAY  
PROFESSIONAL ENGINEER, PROFESSIONAL PLANNER  
N.J.P.E. LICENSE #12870, N.J.P.P. LICENSE #180653

3/19/24  
DATE

MAI	CWQ	SAK	02/13/24
Dwn	Chd.	Degn.	MM/DD/YY
Scale: AS NOTED			
Drawing No.	C-502		
Revision	Sheet		

COMMERCIAL ENERGY SERIES  
OVERVIEW

PowerCharge™

CABLE RETRACTOR

- **Optional** cable retractor extends the life of the cables by elevating them off the ground
- **Creates a safer** environment by greatly reducing tripping hazards

SLIM & DURABLE DESIGN

- **Outdoor rated** with multiple mounting configurations
- **Small footprint** whether wall or pedestal mounted

MULTIPLE MODELS

- **Open Access Control**  
Non-networked common for residential and fleet use
- **RFID Access Control**  
Non-networked model with RFID-card access control
- **Ethernet (40A Only)**
- **Cellular**
- **Networked**  
When connected to a backend software plan, it unlocks features such as point of sale payment, usage data reporting, driver notifications, remote diagnostics, and more

**UL-Listed** meets safety criteria for use in North America

**ADA** Meets standards for Americans with Disabilities Act

LEVEL 2 CHARGING STATION

- **Up to 10x faster** than a standard 110v plug, the Level 2 Series safely delivers up to 35 miles of driving range for every hour of charge time
- **Adjustable** output allows for the ideal power to match your supply panel, electric vehicle, and driving range
- **3-Year Parts Warranty** (5-Year Parts & Labor optional)

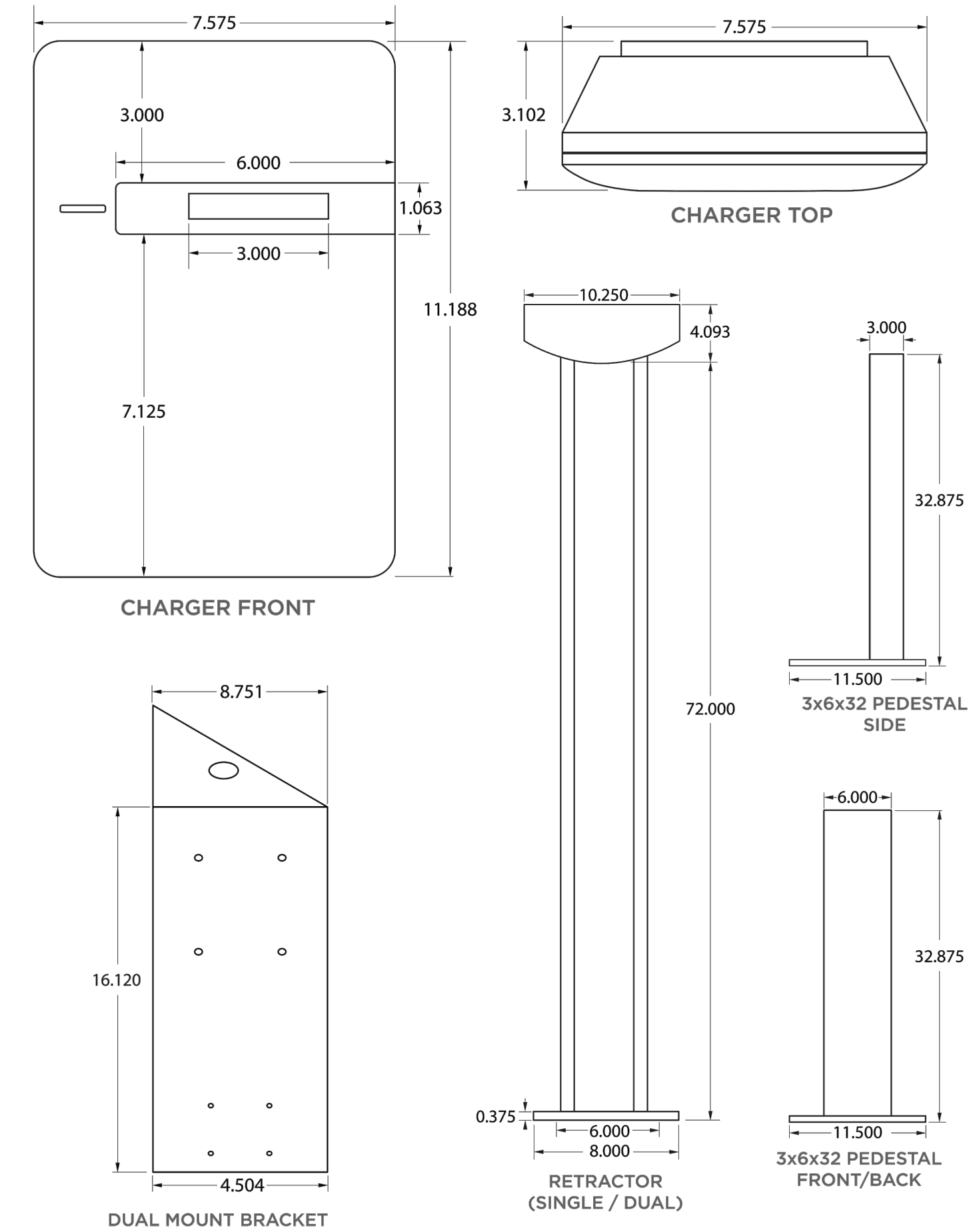
MOUNT CONFIGURATIONS



Shown as Dual Retractor Pedestal (Single configuration available)

COMMERCIAL ENERGY SERIES  
DIMENSIONS

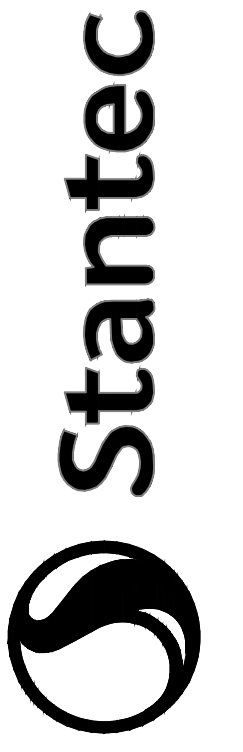
PowerCharge™



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1 ELECTRIC VEHICLE CHARGER DETAIL  
NOT TO SCALE



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Revision	By	App'd	DATE
1	TAB		03.19.24
			MM/DD/YY

Project: 501-303 STATION AVENUE  
BLOCK 25, LOTS 16 & 17.01  
HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY

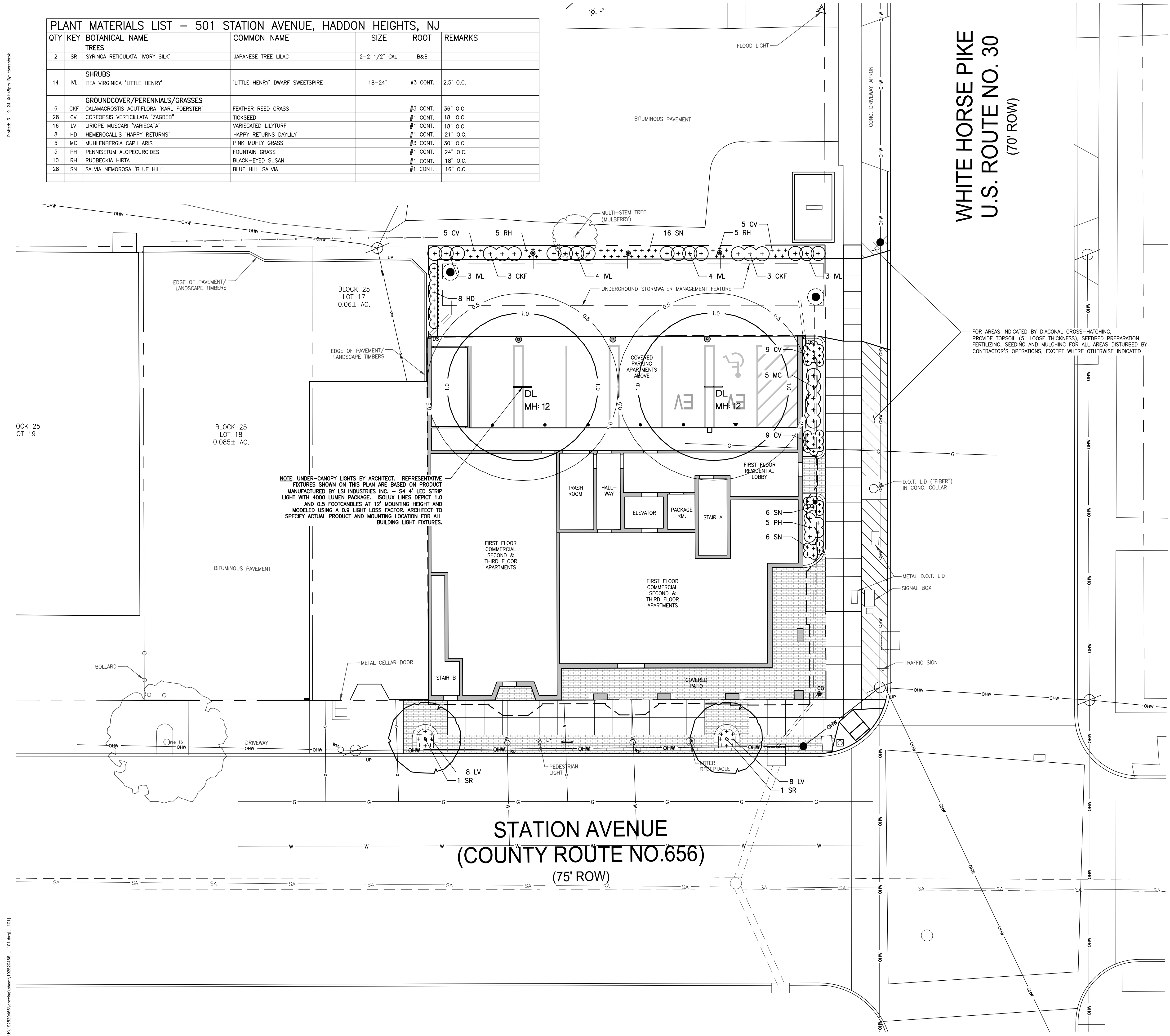
Client: BROKEN GROUND PROPERTIES LLC  
Title: DETAIL SHEET 3

Permit-Seal

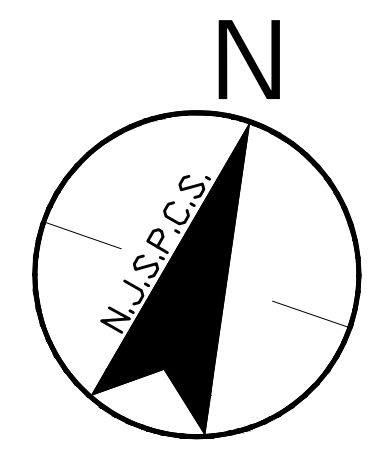
CLIFTON W. QUAY  
PROFESSIONAL ENGINEER, PROFESSIONAL PLANNER  
N.J.P.E. LICENSE #42870, N.J.P.P. LICENSE #186653  
3.19.24  
DATE

Project Number:	192520466		
MAI	CHW	SAK	02.13.24
Dwn	Chd.	Degn.	MM/DD/YY
Scale:	AS NOTED		
Drawing No.	C-503		
Revision	Sheet		

PLANT MATERIALS LIST – 501 STATION AVENUE, HADDON HEIGHTS, NJ						
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
<b>TREES</b>						
2	SR	SYRINGA RETICULATA 'IVORY SILK'	JAPANESE TREE LILAC	2-2 1/2" CAL.	B&B	
<b>SHRUBS</b>						
14	IVL	ITEA VIRGINICA 'LITTLE HENRY'	'LITTLE HENRY' DWARF SWEETSPIRE	18-24"	#3 CONT.	2.5' O.C.
<b>GROUNDCOVER/PERENNIALS/GRASSES</b>						
6	CKF	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS		#3 CONT.	36" O.C.
28	CV	COREOPSIS VERTICILLATA 'ZAGREB'	TICKSEED		#1 CONT.	18" O.C.
16	LV	LIRIOPE MUSCARI 'VAREGATA'	VARIEGATED LILYTURF		#1 CONT.	18" O.C.
8	HD	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY		#1 CONT.	21" O.C.
5	MC	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS		#3 CONT.	30" O.C.
5	PH	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS		#1 CONT.	24" O.C.
10	RH	RUDBECKIA HIRTA	BLACK-EYED SUSAN		#1 CONT.	18" O.C.
28	SN	SALVIA NEMOROSA 'BLUE HILL'	BLUE HILL SALVIA		#1 CONT.	16" O.C.



WHITE HORSE PIKE  
U.S. ROUTE NO. 30  
(70' ROW)

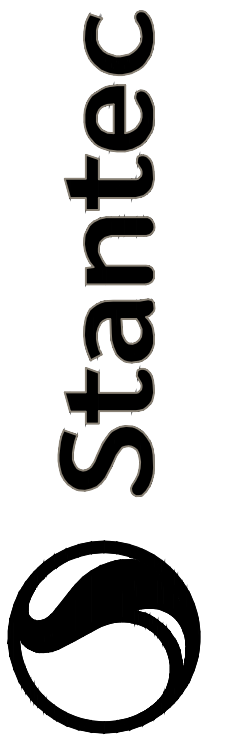
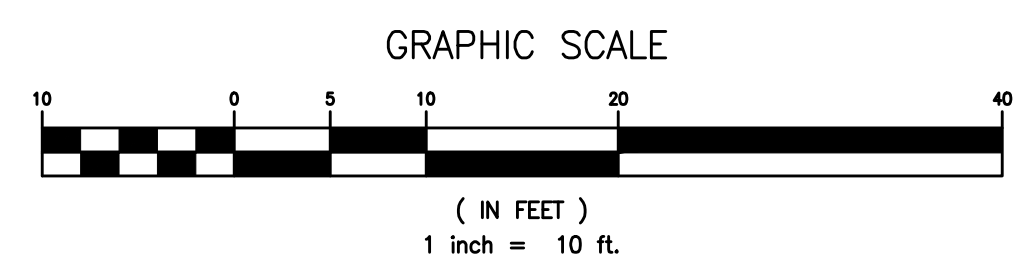


NOTE: UNDER-CANOPY LIGHTS BY ARCHITECT. REPRESENTATIVE FIXTURES SHOWN ON THIS PLAN ARE BASED ON PRODUCT MANUFACTURED BY LSI INDUSTRIES INC. – S4 4' LED STRIP LIGHT WITH 4000 LUMEN PACKAGE. ISOLUX LINES DEPICT 1.0 AND 0.5 FOOTCANDLES AT 12' MOUNTING HEIGHT AND MODELLED USING A 0.9 LIGHT LOSS FACTOR. ARCHITECT TO SPECIFY ACTUAL PRODUCT AND MOUNTING LOCATION FOR ALL BUILDING LIGHT FIXTURES.

FOR AREAS INDICATED BY DIAGONAL CROSS-HATCHING, PROVIDE TOPSOIL (5" LOOSE THICKNESS), SEEDBED PREPARATION, FERTILIZING, SEEDING AND MULCHING FOR ALL AREAS DISTURBED BY CONTRACTOR'S OPERATIONS, EXCEPT WHERE OTHERWISE INDICATED

- PLANT MATERIAL INSTALLATION DETAILS:**  
SEE DRAWING No. L-501 FOR INSTALLATION DETAILS FOR PLANT MATERIALS.
- TURFGRASS/LAWN SEEDING:**  
REFER TO DRAWING L-501, "PLANTING DETAILS" FOR SEEDING NOTES & SPECIFICATIONS. REFER TO DRAWING C-105, "SOIL EROSION & SEDIMENT CONTROL PLAN" FOR TOPSOILING REQUIREMENTS AND SEED MIXES.
- TEMPORARY SEEDING:**  
REFER TO SOIL EROSION & SEDIMENT CONTROL PLAN FOR TEMPORARY SEEDING AND/OR MULCHING REQUIRED FOR TEMPORARY STABILIZATION OF SOILS THAT ARE DISTURBED DURING CONSTRUCTION.

STATION AVENUE  
(COUNTY ROUTE NO. 656)  
(75' ROW)

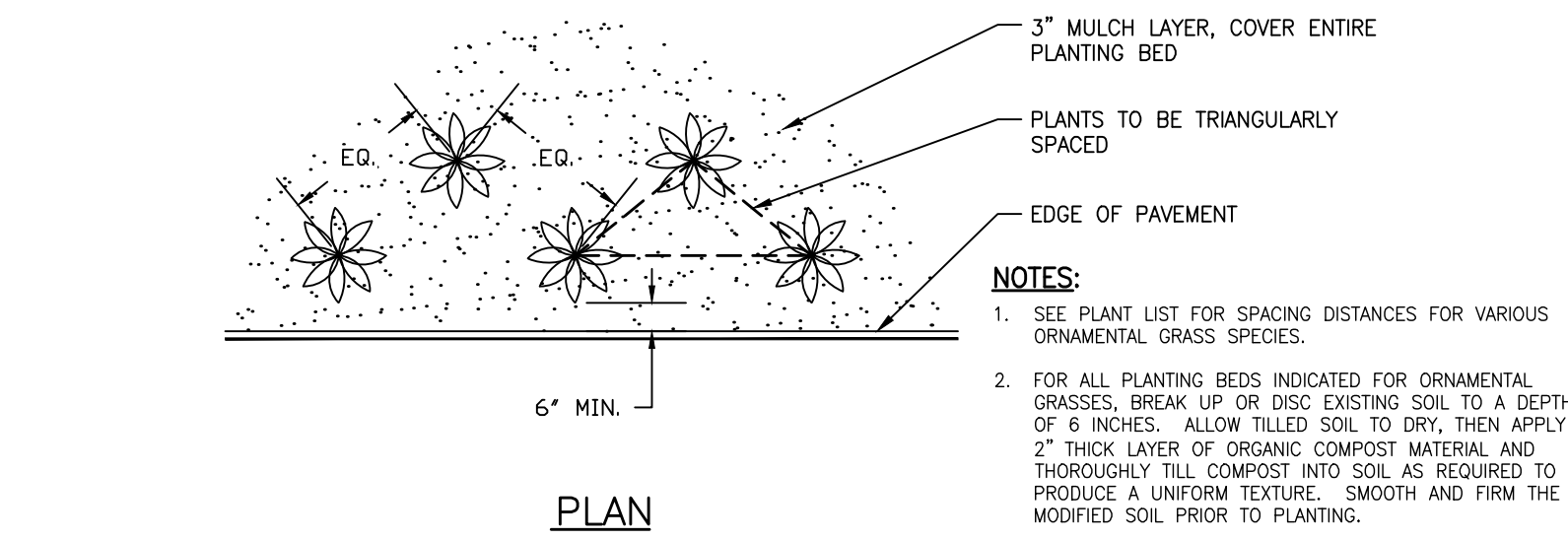
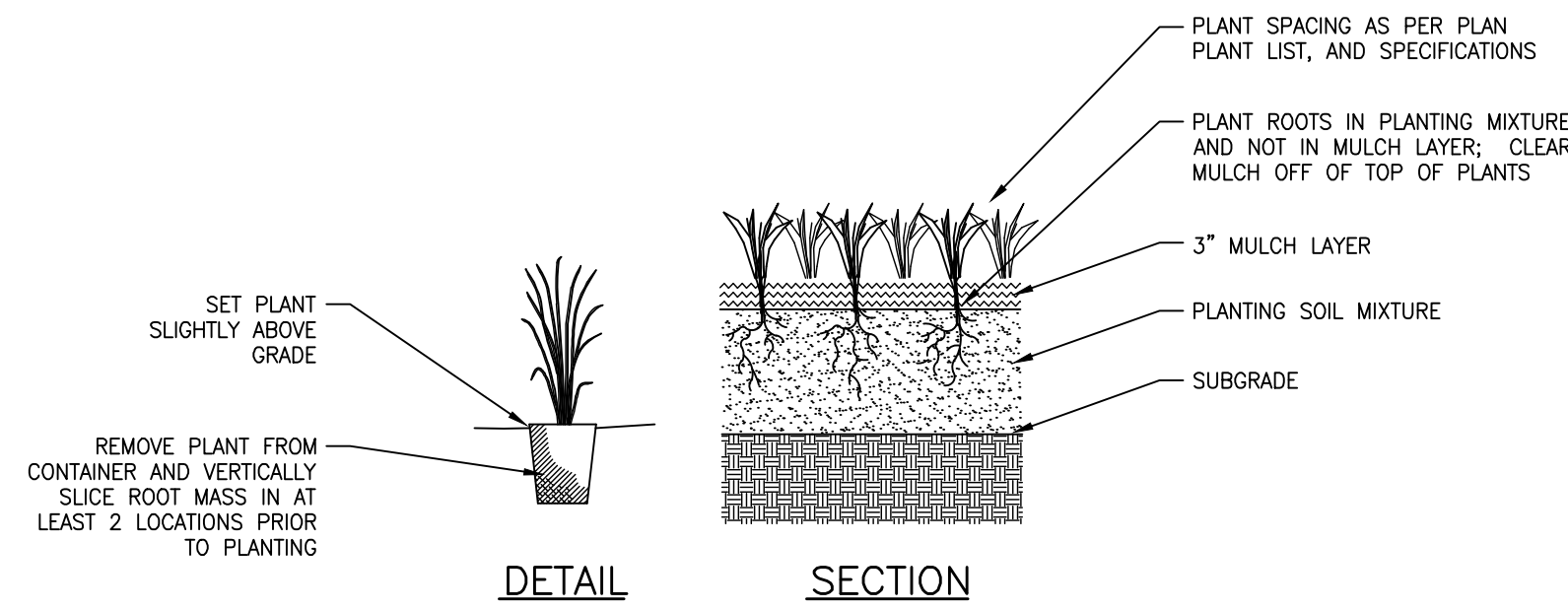


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Project: 501-303 STATION AVENUE  
BLOCK 25, LOTS 16 & 17.01  
HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY  
Client: BROKEN GROUND PROPERTIES LLC  
Title: LANDSCAPE & SITE LIGHTING PLAN  
Permit-Seal

CLIFTON W. QUAY  
PROFESSIONAL ENGINEER, PROFESSIONAL PLANNER  
N.J.P.E. LICENSE #42870, N.J.P.P. LICENSE #L06653  
DATE: 3.19.24

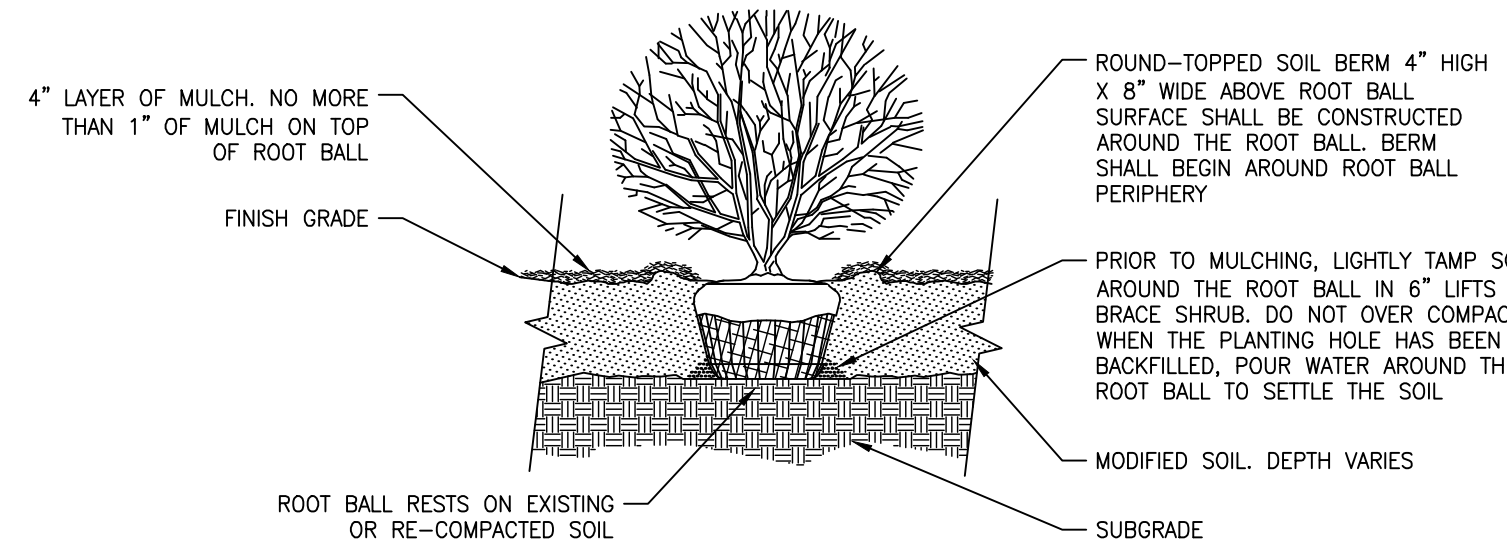
Project Number: 192520466	CPN	TAB	CPN	02.13.24
	Dwn.	Chkd.	Degn.	MM.DD.YY
	Scale: 1" = 10'			
Drawing No. L-101	Revision Sheet			
1	13 of 14			



**5 GROUND COVER / PERENNIAL**  
L-501 NOT TO SCALE

**NOTES:**

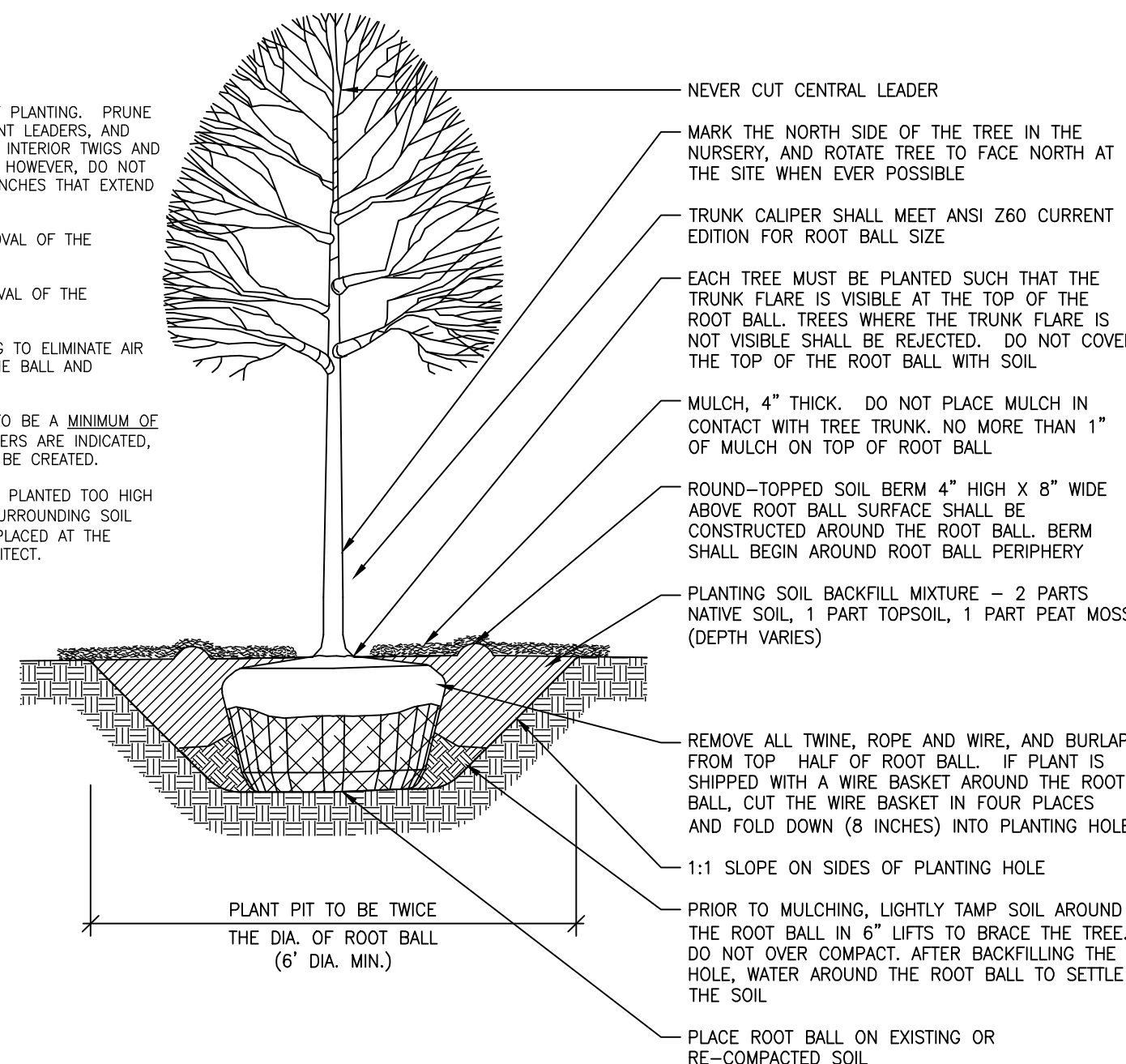
1. ROOT BALLS GREATER THAN 2' DIA. SHALL SIT ON A MOUND OF UNDISTURBED SOIL TO PREVENT SETTLEMENT.
2. ROOT BALLS SMALLER THAN 2' DIA. SHALL SIT ON COMPACTED PLANTING SOIL.
3. TOP OF ROOT BALL SHALL BE 1" TO 2" ABOVE FINISH GRADE.
4. PLANTING HOLE FOR ROOT BALL SIZES 2' DIA. AND LARGER SHALL BE 2' LARGER ON ALL SIDES THAN DIAMETER OF ROOT BALL.
5. PLANTING HOLE FOR ROOT BALL SIZES LESS THAN 2' DIA. SHALL BE TWICE THE DIAMETER OF THE ROOT BALL.



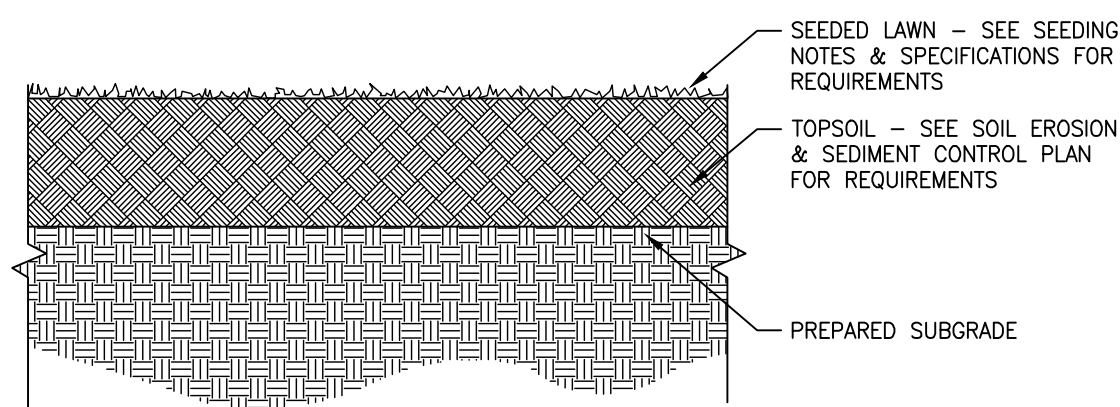
**3 SHRUB**  
L-501 NOT TO SCALE

**NOTES:**

1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
3. WRAP TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
4. WATER THOROUGHLY DURING PLANTING TO ELIMINATE AIR POCKETS, SETTLING, AND TO SOAK THE BALL AND SURROUNDING SOIL.
5. MULCH RING FOR INDIVIDUAL TREES TO BE A MINIMUM OF 6' IN DIAMETER. WHERE TREE CLUSTERS ARE INDICATED, A CONTINUOUS MULCHED BED SHALL BE CREATED.
6. TREES THAT ARE OVER-MULCHED, OR PLANTED TOO HIGH (MORE THAN 6 INCHES ABOVE THE SURROUNDING SOIL LEVEL) SHALL BE REJECTED AND REPLACED AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.



**1 DECIDUOUS TREE**  
L-501 NOT TO SCALE



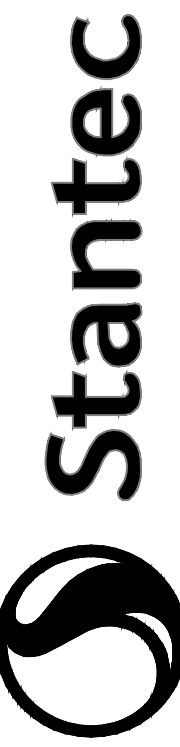
**X SEEDED LAWN DETAIL**  
L-501 NOT TO SCALE

**PLANTING NOTES AND SPECIFICATIONS**

1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS SHOWN, INCLUDING ALL LABOR, MATERIALS, EQUIPMENT, INCIDENTALS AND CLEANUP.
2. ALL PLANTS SHALL BE NURSERY GROWN. PLANT QUALITY AND SIZE, ROOT SPREAD AND ROOT BALL OR CONTAINER SIZE SHALL BE IN ACCORDANCE WITH ANSI Z607.1, AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE AND INSECT PESTS, EGGS AND LARVAE. THEY SHALL HAVE HEALTHY AND WELL DEVELOPED ROOT SYSTEMS.
3. DECIDUOUS TREES SHALL BE SELECTED FOR STRAIGHT TRUNKS, SYMMETRICAL AND FULL HEADS, WITH NO OPEN AREAS AND WITH ONE STRAIGHT LEADER. TREES WITH A CROTCH OR FORKED TRUNK SHALL BE REJECTED. CONIFEROUS EVERGREEN TREES SHALL BE FULLY BRANCHED FROM THE GROUND TO UPPERMOST WHORL, WITH NO LARGE OPEN AREAS BETWEEN WHORLS. SHRUBS SHALL HAVE FULL, DENSE AND SYMMETRICAL HEADS AND SHALL BE RELATED TO THE GROUND. LEGGY OR ONE-SIDED PLANTS SHALL BE REJECTED. GROUND COVER PLANTS SHALL BE THRIFTY, WELL BALANCED PLANTS, WELL-ESTABLISHED IN CONTAINERS.
4. ALL PLANTS (BAG OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS SECURELY ATTACHED THERETO BEFORE DELIVERY TO THE PROJECT SITE. LABELS SHALL IDENTIFY THE PLANTS BY NAME, SPECIES AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL FINAL INSPECTION BY THE PROJECT CONSULTANT OR OWNER'S AGENT.
5. SUBSTITUTIONS: DUE TO POSSIBLE LIMITED PLANT AVAILABILITY, PLANT MATERIAL OF SIMILAR CHARACTER MAY BE SUBSTITUTED, UPON REQUEST BY THE CONTRACTOR, IF APPROVED BY THE OWNER.
6. BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF EARTH, OF DIAMETER AND DEPTH TO INCLUDE MOST OF THE FIBROUS ROOTS. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING.
7. CONTAINER GROWN STOCK SHALL HAVE BEEN GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER FIRM AND WHOLE. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. AFTER REMOVAL FROM THE CONTAINER, THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
8. ROOT BALLS OF ALL PLANTS SHALL BE ADEQUATELY PROTECTED AT ALL TIMES FROM SUN AND DRYING WINDS OR FROST. PLANTS WITH BROKEN ROOT BALLS OR EXCESSIVE DAMAGE TO THE CROWN SHALL BE REJECTED.
9. INsofar AS IT IS PRACTICABLE, PLANT MATERIALS SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT THE STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A 3 DAY PERIOD AFTER DELIVERY.
10. PLANTING SOIL FOR BACKFILLING PLANTED AREAS SHALL CONSIST OF 2 PARTS BY VOLUME OF LOAMY TOPSOIL THOROUGHLY MIXED WITH ONE PART PEAT MOSS. NOTHING BUT SUITABLE TOPSOIL, FREE OF DIRT, STIFF CLAY, DEBRIS, OR OTHER UNSUITABLE MATERIALS, SHALL BE USED FOR PLANTING.
11. ALL PLANTING SHALL BE INSTALLED AT THE LOCATIONS INDICATED ON THE DRAWINGS. MINOR ADJUSTMENTS TO PLANTING LOCATIONS MAY BE NECESSARY DUE TO FIELD CONDITIONS AND FINAL GRADING. THE CONTRACTOR SHALL ENSURE THAT LANDSCAPE INSTALLATION DOES NOT INTERRUPT ESTABLISHED OR PROPOSED DRAINAGE PATTERNS. THE CONTRACTOR SHALL NOTIFY THE OWNER IF MAJOR ADJUSTMENTS ARE REQUIRED.
12. ALL PLANTS SHALL BE PLUMB AND STRAIGHT AND INSTALLED AT SUCH A LEVEL THAT, AFTER SETTLEMENT, THE INDICATED RELATIONSHIP BETWEEN THE CROWN OF THE ROOT BALL AND THE GROUND SURFACE WILL BE ESTABLISHED. (SEE PLANTING DETAILS). ALL PLANTS SHALL BE LOCATED IN THE CENTER OF THEIR RESPECTIVE PLANTING PITS.
13. TREES IN LEAF WHEN PLANTED SHALL BE TREATED WITH ANTI-DESICCANT SUCH AS "WILT-PROOF".
14. MULCH: IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED ALL TREE AND SHRUB PLANTING PITS SHALL BE COVERED WITH A 3" (THREE INCH) LAYER OF DOUBLE SHREDED HARDWOOD ROOT MULCH OR OTHER MATERIAL APPROVED BY THE OWNER. THE LIMIT OF THIS MULCH FOR DECIDUOUS TREES AND SINGLE EVERGREEN TREES SHALL BE THE AREA OF THE PIT. FOR SHRUB BEDS AND EVERGREEN TREE CLUSTERS, A CONTINUOUS MULCHED BED SHALL BE CREATED.
15. ALL PLANTING BEDS ADJACENT TO LAWN, SOD OR SEEDED AREAS SHALL BE SPADE EDGED.
16. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLICATION OF PRE-EMERGENT. APPLY PRE-EMERGENT AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
17. EACH TREE AND SHRUB SHALL BE PRUNED, AFTER INSTALLATION, IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERMEN STANDARDS TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
18. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND THE OWNER'S AGENT IN WRITING OF ALL SOIL OR DRAINAGE CONDITIONS WHICH THE CONTRACTOR CONSIDERS DETRIMENTAL TO THE GROWTH OF PLANTS, IF SUCH CONDITIONS ARE ENCOUNTERED DURING PLANTING. STATE THE CONDITIONS AND SUBMIT A PROPOSAL FOR CORRECTING THE CONDITIONS, INCLUDING ANY CHANGE IN COST, FOR REVIEW AND ACCEPTANCE BY THE OWNER.
19. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES LISTED IN THE PLANT LIST AND THOSE QUANTITIES SHOWN ON THE PLANS, THOSE SHOWN ON THE PLANS SHALL GOVERN.
20. NEW PLANTING AREAS AND NEW TURF AREAS SHALL BE ADEQUATELY IRRIGATED OR WATERED BY THE CONTRACTOR AS REQUIRED TO ESTABLISH THE NEW PLANTS AND LAWN, UNTIL OWNER'S ACCEPTANCE.
21. ANY MATERIAL/WORK MAY BE REJECTED IF IT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. ALL REJECTED MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
22. UPON COMPLETION OF ALL LANDSCAPING, A PROJECT MEETING FOR ACCEPTANCE OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE OWNER TO SCHEDULE THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
23. CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE BY OWNER. THE ONE-YEAR GUARANTEE PERIOD SHALL COMMENCE UPON FINAL ACCEPTANCE BY OWNER.
24. GUARANTEE: ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN A VIGOROUS GROWING CONDITION FOR A PERIOD OF NOT LESS THAN ONE FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE BY OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MONITOR THE PROJECT DURING THE GUARANTEE PERIOD AND NOTIFY THE OWNER IF PROBLEMS DEVELOP WITH THE PLANT MATERIAL. ANY MATERIAL THAT IS 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND MUST BE REPLACED AT NO CHARGE. A TREE SHALL BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR THERE IS 25% OF THE CROWN DEAD. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. REPLACEMENT PLANTS SHALL BE GUARANTEED FOR A PERIOD OF 90 DAYS AFTER THEIR INSTALLATION.
25. REFER TO "SITE PLAN", SHEET C-102 FOR GENERAL NOTES PERTAINING TO WORK OF THIS PLAN. REFER TO SHEET C-101 FOR PROJECT LEGEND. THIS PLAN SHALL BE USED FOR LANDSCAPE PURPOSES ONLY. THE CONTRACTOR SHALL REVIEW RELATED ARCHITECTURAL/ENGINEERING PLANS TO BECOME THOROUGHLY FAMILIAR WITH GRADING AND UTILITIES.

**SEEDING NOTES AND SPECIFICATIONS**

1. GENERAL: PROVIDE TOPSOILING, SEEDBED PREPARATION, FERTILIZING, SEEDING AND MULCHING OF ALL NEWLY GRADED FINISHED EARTH SURFACES, UNLESS INDICATED OTHERWISE, AND AT ALL AREAS INSIDE OR OUTSIDE THE LIMITS OF CONSTRUCTION THAT ARE DISTURBED BY THE CONTRACTOR'S OPERATIONS. SOW SEED FROM APRIL 1 TO MAY 31 FOR SPRING PLANTING AND FROM AUGUST 16 TO OCTOBER 15 FOR FALL PLANTING. SEEDING PERIOD MAY BE EXTENDED OR REDUCED ACCORDING TO PREVAILING WEATHER CONDITIONS AT THE TIME, AS DIRECTED BY THE LANDSCAPE ARCHITECT.
2. TOPSOILING: COMPLY WITH SOIL EROSION & SEDIMENT CONTROL PLAN AND NOTES. ADDITIONAL REQUIREMENTS FOR LAWN AREAS:
  - A. FINISHED SURFACE OF THE TOPSOIL SHALL CONFORM TO THE FINISHED GRADE AND SHALL BE FREE FROM DEPRESSIONS, HOLLOW, OR OTHER IRREGULARITIES.
  - B. REMOVE FROM THE SURFACE ALL STONES 2 INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, CONCRETE RUBBLE, CLODS, LUMPS OR OTHER UNSUITABLE MATERIAL.
3. SEEDBED PREPARATION: COMPLY WITH SOIL EROSION & SEDIMENT CONTROL PLAN AND NOTES.
4. SEED MIXTURES: COMPLY WITH SOIL EROSION & SEDIMENT CONTROL PLAN AND NOTES.
5. SEED APPLICATION: COMPLY WITH SOIL EROSION & SEDIMENT CONTROL PLAN AND NOTES.
  - A. SOW SEED WITHIN 24 HOURS OF SEEDBED PREPARATION.
  - B. SEED SHALL NOT BE APPLIED BY HYDROSEEDING UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.
6. MULCH ALL SEEDED LAWN AREAS AFTER SEED APPLICATION. COMPLY WITH SOIL EROSION & SEDIMENT CONTROL PLAN AND NOTES.
7. STEEP SLOPES (3:1 OR GREATER): INSTALL SLOPE STABILIZATION FABRIC IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS, AFTER SEEDING APPLICATION.
8. WATERING:
  - A. UNLESS OTHERWISE DIRECTED, WATER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. SOURCE OF WATER SHALL BE OF SUITABLE QUALITY FOR IRRIGATION, CONTAINING NO ELEMENTS TOXIC TO PLANT LIFE.
  - B. START WATERING AREAS SEEDED AS REQUIRED BY TEMPERATURE AND WIND CONDITIONS. APPLY WATER AT A RATE SUFFICIENT TO INSURE THOROUGH WETTING OF SOIL TO A DEPTH OF 2 INCHES WITHOUT RUN OFF.
  - C. DURING THE GERMINATION PROCESS, SEED IS TO BE KEPT ACTIVELY GROWING AND NOT ALLOWED TO DRY OUT.
  - D. IRRIGATE TO ACHIEVE MINIMUM OF 1" OF WATER PER WEEK FOR A MINIMUM OF 4 WEEKS OR UNTIL GERMINATION IS COMPLETED AND VEGETATION IS ESTABLISHED.
9. SOD, IF AND WHERE INDICATED ON THE DRAWINGS, SHALL BE SAME AS GENERAL LAWN SEED MIX AND SHALL BE INSTALLED IN ACCORDANCE WITH AMERICAN ASSOCIATION OF SOD PRODUCERS' STANDARDS. SPECIFY "CERTIFIED SOD" OR HIGH QUALITY CULTIVATED SOD. IT IS TO BE FREE OF WEEDS AND UNDERGROWING GRASSES AND ALSO BE OF UNIFORM THICKNESS. ALSO TO HAVE GOOD ROOT MAT WITHOUT BROKEN PADS OR TORN UNEVEN ENDS.
10. MAINTENANCE DURING ESTABLISHMENT PERIOD: THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL AREAS DURING THE PERIOD WHEN GRASS IS BECOMING ESTABLISHED AND UNTIL ALL WORK UNDER THIS CONTRACT IS COMPLETE AND ACCEPTED. MAINTAIN AND ESTABLISH TURF BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND PERFORMING OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE TURF. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH TURF. PROVIDE MATERIALS AND INSTALLATION THE SAME AS THOSE USED IN THE ORIGINAL INSTALLATION.
11. SEE SOIL EROSION & SEDIMENT CONTROL PLAN FOR TEMPORARY SEEDING AND STABILIZATION MEASURES FOR SOILS DISTURBED DURING CONSTRUCTION.
12. ACCEPTANCE OF SATISFACTORY LAWS:
  - A. SATISFACTORY SEEDED LAWN: AT END OF MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90 PERCENT OVER ANY 10 SQ. FT. AND BARE SPOTS NOT EXCEEDING 3 BY 5 INCHES.
  - B. SATISFACTORY SODDED LAWN: AT END OF MAINTENANCE PERIOD, A HEALTHY, WELL-ROOTED, EVEN-COLORED, VIABLE LAWN HAS BEEN ESTABLISHED, FREE OF WEEDS, OPEN JOINTS, BARE AREAS, AND SURFACE IRREGULARITIES.
  - C. REESTABLISH LAWS THAT DO NOT COMPLY WITH REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWS ARE SATISFACTORY.
13. GUARANTEE: ALL LAWN WORK INCLUDING THE REPAIR OF WASHOUTS, GULLIES, ETC., SHALL BE GUARANTEED FOR ONE CALENDAR YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.



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 Not scale the drawing - any errors or omissions shall be reported to  
 Stantec without delay.  
 The contractor shall be responsible for obtaining all necessary  
 permits and for any professional seal that is required by State or  
 local authorities.

03/19/24	By	MM/DD/YY
CWO	Appt.	
TAB	By	
1. SITE PLAN APPLICATION		
Revision		

Project: 90-303 STATION AVENUE  
 BLOCK 25, LOTS 16 & 17/01  
 HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY  
 Client: BROKEN GROUND PROPERTIES LLC  
 Title: LANDSCAPE DETAILS

Permit-Seal

**CLIFTON W. QUAY**  
 PROFESSIONAL ENGINEER, PROFESSIONAL PLANNER  
 N.J.P.E. LICENSE #42870, N.J.P.P. LICENSE #L06553

*Clifton W. Quay*  
 3-19-24  
 DATE

Project Number: 192520466			
MAI	CWO	SAK	02/13/24
Dwn	Chd.	Degn.	MM/DD/YY
Scale: AS NOTED			
Drawing No. L-501			
Revision Sheet			