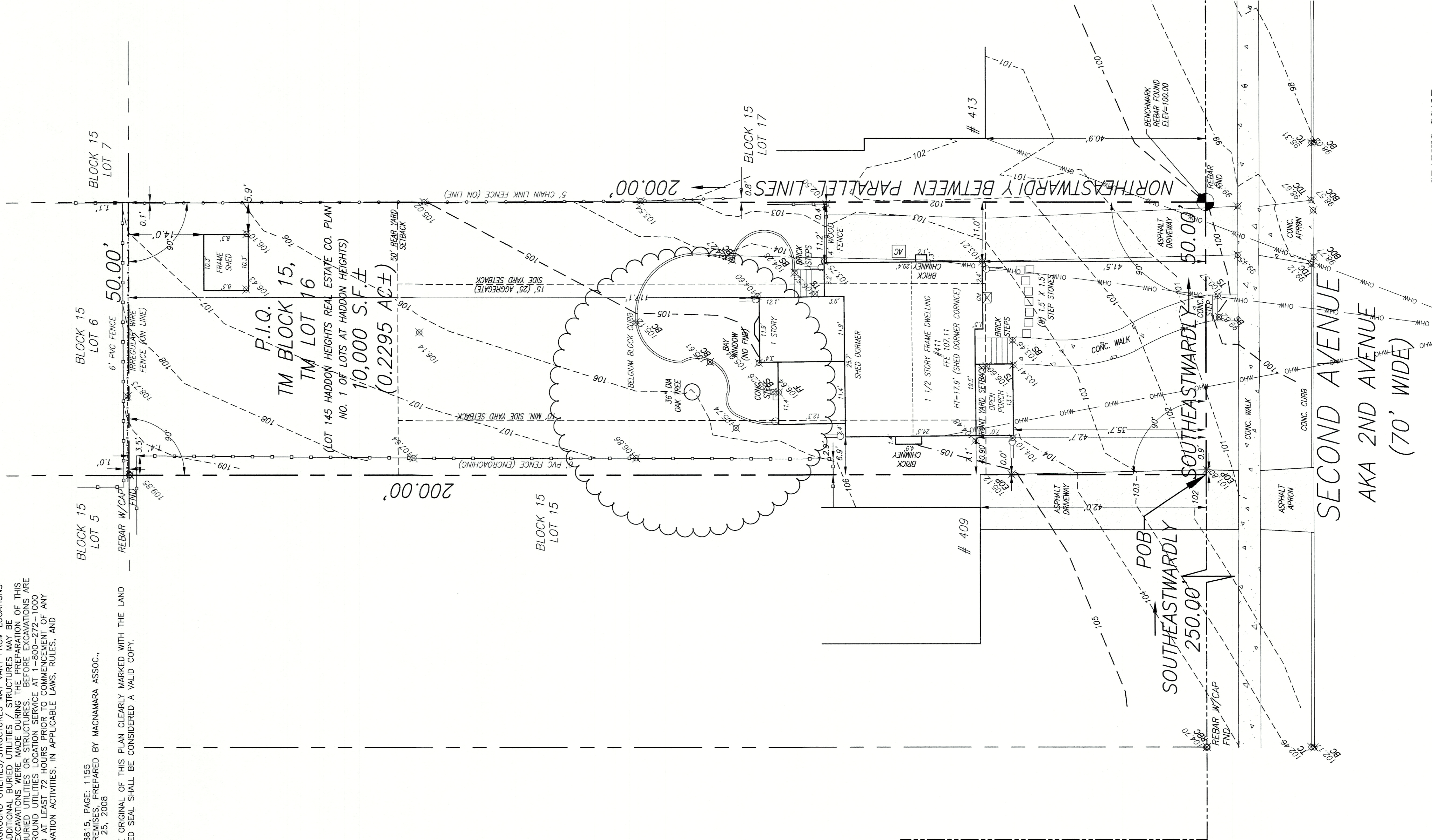
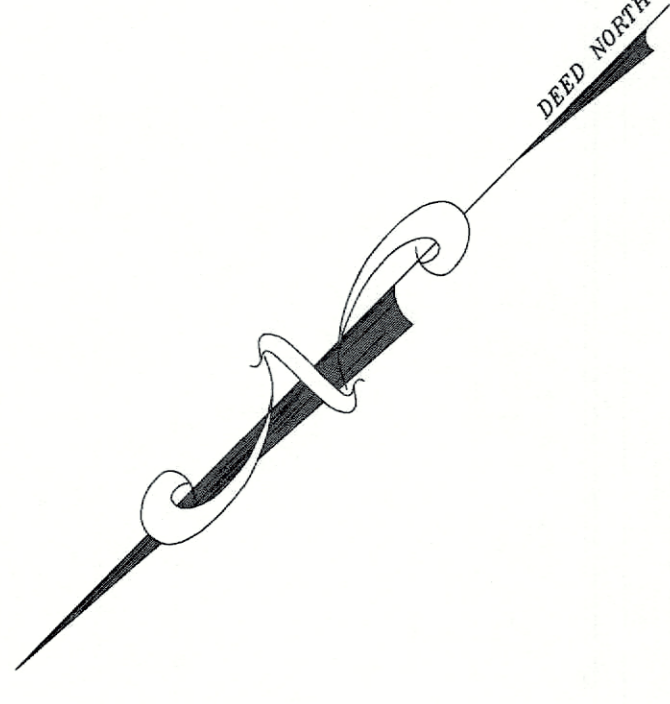


SURVEY NOTES:

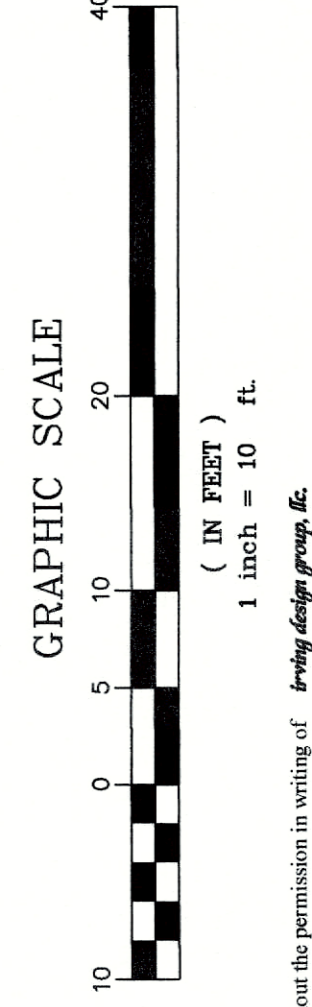
1. LOT AND BLOCK NUMBERS REFER TO BOROUGH OF HADDON HEIGHTS, TAX MAP, PLATE # 2, ALSO KNOWN AS LOT NO. 145 HADDON HEIGHTS REAL ESTATE CO., PLAN NO. 1 OF LOTS AT HADDON HEIGHTS, DULY FILED IN THE CAMDEN COUNTY CLERKS OFFICE (FORMERLY REGISTER OF DEEDS OFFICE) IN 1905 AS FILE 162 MAP 1.
2. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY INFORMATIONAL DISCLOSURES, RESTRICTIONS AND/OR ENCUMBRANCES THAT WOULD BE CONTAINED THEREIN.
3. SUBJECT PROPERTY CONTAINS A CALCULATED 10,000 SQUARE FEET, 0.2295 ACRES MORE OR LESS.
4. THIS SURVEY WAS PREPARED FOR CHARRON BOSSONG AND SHALL BE USED FOR NO OTHER PURPOSE.
5. AS PER CONTRACT A WRITTEN METES AND BOUNDS DESCRIPTION HAS NOT BEEN PROVIDED.
6. BOUNDARY AND TOPOGRAPHICAL SURVEY PERFORMED BY IRVING DESIGN GROUP, HADDON HEIGHTS, NJ. ALL POINTS ARE REFLECTED ON THIS PLAN. THE LOCATIONS OF EXISTING UTILITIES ARE REFLECTED ON THIS PLAN. THE LOCATIONS OF UNDERGROUND UTILITIES IF SHOWN HEREON ARE BASED UPON ABOVE GROUND STRUCTURES VISIBLE AT THE TIME OF THE FIELD SURVEY.
7. HORIZONTAL DATUM: BASED ON DEED OF RECORD, VERTICAL DATUM ASSUMED, BENCHMARKS SHOWN, BENCHMARK: SOUTH PROPERTY CORNER, DESCRIPTION REBAR: ELEVATION=100.0
8. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS IF SHOWN HEREON; ADDITIONAL BURIED UTILITIES / STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PREPARATION OF THIS SURVEY TO LOCATE BURIED UTILITIES OR STRUCTURES. BEFORE EXCAVATIONS ARE BEGUN, THE UNDERGROUND UTILITIES LOCATION SERVICE NUMBER 800-277-1000 SHOULD BE CONTACTED TO OBTAIN THE MOST CURRENT INFORMATION REGARDING ANY DEMOLITION OR EXCAVATION ACTIVITIES, IN APPLICABLE LAWS, RULES, AND REGULATIONS.
9. REFERENCES:
A. DEED BOOK: 8815, PAGE: 1155
B. METES AND BOUNDS: PREPARED BY MACNAMARA ASSOC., DATED MARCH 25, 2008
10. ONLY COPIES OF THE ORIGINAL OF THIS PLAN CLEARLY MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED A VALID COPY.

LEGEND

- PROPERTY LINE
- - - EX. CONTOUR LINE
- 100.0' EX. SPOT ELEVATION
- 100.1' CURB
- SITE BENCHMARK
- EX. 4" x 3" DOWNSPOUT TO SURFACE
- REBAR W/CAP FOUND
- CHAIN LINK FENCE
- PVC OR WOOD FENCE
- WIRE FENCE
- GAS METER



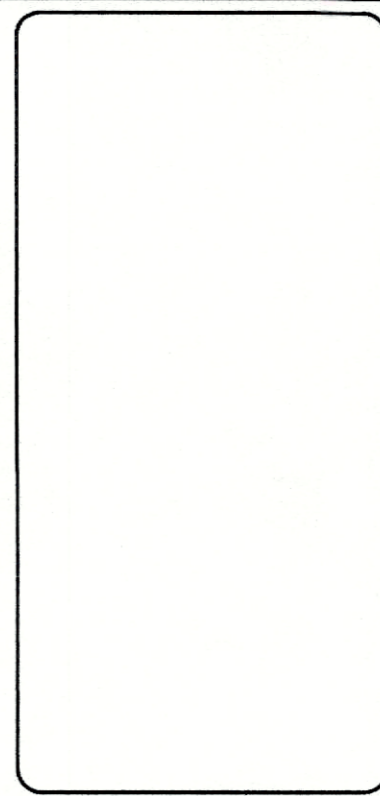
HIGH STREET
(50' WIDE)



No.	REVISIONS/SUBMISSIONS	DATE
0	INITIAL ISSUE	3/18/24

OWNER/APPLICANT:
GREGORY & CHARRON BOSSONG
 411 SECOND AVENUE
 HADDON HEIGHTS, NJ 08035
 PH: 856-796-3275
 EMAIL: contact.charron.obrien@gmail.com

irving design group, llc
 land use planning & design
 10 WHITE HORSE PIKE
 HADDON HEIGHTS, NJ 08035
 PH: (856) 310-9200
 CERTIFICATE OF AUTHORIZATION
 #24CA280280



PROJECT#: 8088-24481 | DATE: 3/18/24
 DRAWN BY: JD | CHKD BY: WSK | SCALE: 1"=10'
 DRAWING NO.: **SU-1** | SHEET NO.: **1 OF 4**

PLAN OF SURVEY
 #411 SECOND AVENUE
 BLOCK 15 - LOT 16 - PLATE 2
 BOROUGH OF HADDON HEIGHTS
 COUNTY OF CAMDEN
 STATE OF NEW JERSEY

ZONING DATA: R-2

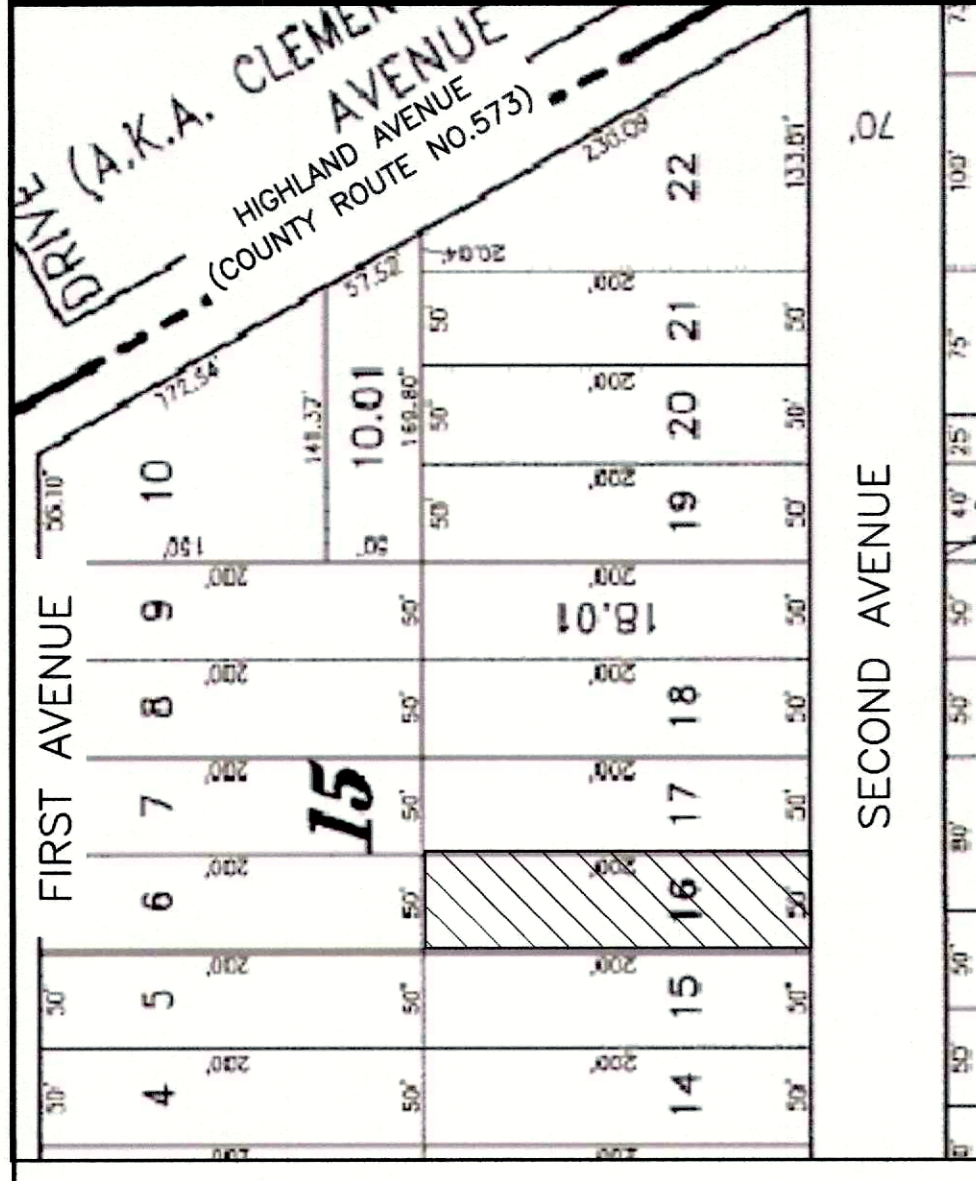
TOTAL LOT AREA: 10,000 SF ±
 ZONE: R-2 (SINGLE FAMILY RESIDENTIAL)

USE	REQUIRED	EXISTING	PROPOSED
SINGLE FAMILY DETACHED	12,000	10,000 (ENC)	10,000 (ENC)
MINIMUM LOT AREA (S.F.)	60	50 (ENC)	50 (ENC)
MINIMUM LOT WIDTH (FT.)	40.9	35.7(ENC)	35.7(ENC)
FRONT YARD SETBACKS (FT.)	10/25	9.9(ENC)/18.1(ENC)	11.7.1
SIDE YARD/AGGREGATE REAR YARD	30% (3,267 SF)	22.05% (2,204.94 SF)	40.44% (4,044.09 SF) (V) (1,044.09 SF OVER MAX.)
MAXIMUM LOT COVERAGE	35' (2.5 STY)	17.9' (1.5 STY)	17.9' (1.5 STY)
MAXIMUM BUILDING HEIGHT (MEASURED TO THE CORNICE)	5'	5.9' (EXISTING SHED)	5' (PROPOSED GARAGE)
OUTBUILDING (EXISTING SHED TO BE REMOVED + PROPOSED 2 CAR GARAGE)	5'	14' (EXISTING SHED)	60' (PROPOSED GARAGE)
SIDE REAR HEIGHT	450	85.5 (EXISTING SHED)	440 (PROPOSED GARAGE)
AREA	16	3	9
PARKING RSIS (3 BEDROOM = 2.5 STALLS)	2.5		

(ENC) = EXISTING NON CONFORMANCE
 (V) = VARIANCE REQUIRED/REQUESTED

LEGEND

- PROPERTY LINE
- - - EX. CONTOUR LINE
- ⊗ EX. SPOT ELEVATION
- CURB
- SITE BENCHMARK
- PROP. 4" X 3" DOWNSPOUT
- EX. 4" X 3" DOWNSPOUT TO SURFACE
- ⇒ FLOW ARROW



KEY MAP
 (HADDON HEIGHTS TAX MAP PLATE 2)
 SCALE: 1"=100'

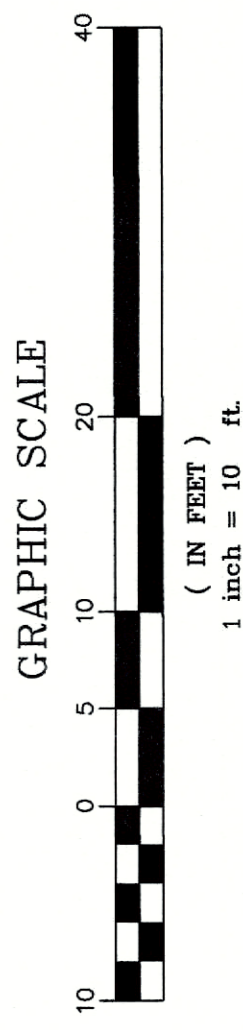
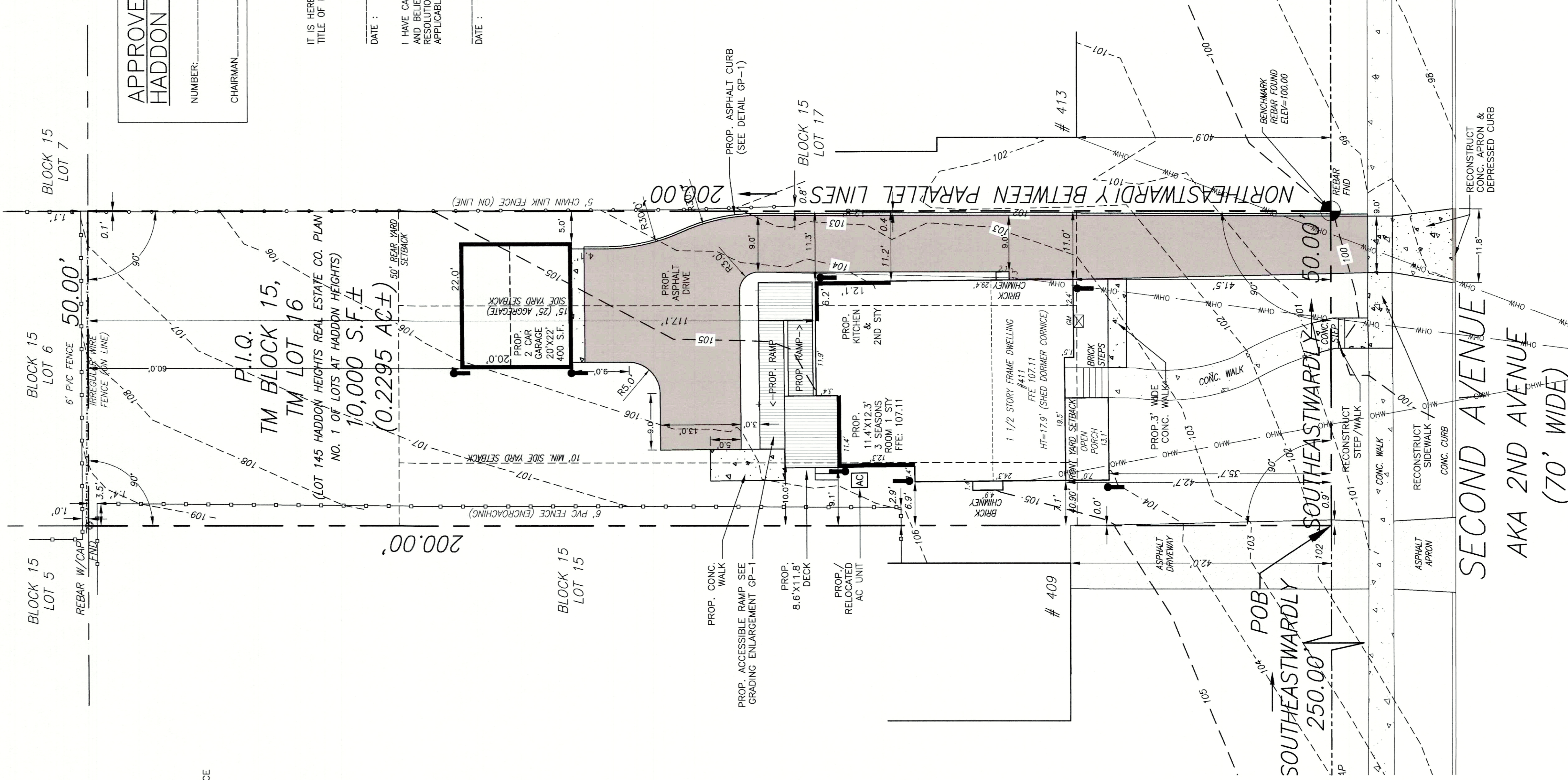
APPROVED BOROUGH OF HADDON HEIGHTS PLANNING BOARD
 NUMBER: _____ DATE: _____
 CHAIRMAN: _____ SECRETARY: _____

IT IS HEREBY CERTIFIED THAT THE LOTS SHOWN ON THIS MAP ARE OWNED BY TITLE OF RECORD AND THAT CONSENT TO THE APPROVAL OF SAID PLAN IS GIVEN.

DATE: _____
 PROPERTY OWNER/APPLICANT: GREGORY BOSSONG

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT CONFORMS WITH THE PROVISIONS OF THE "MAP FILING LAW" RESOLUTION OF APPROVAL AND THE MUNICIPAL ORDINANCES AND REQUIREMENTS APPLICABLE THERETO.

DATE: _____
 PLANNING BOARD ENGINEER



No.	REVISIONS/SUBMISSIONS	DATE
0	INITIAL ISSUE	3/19/24

OWNER/APPLICANT:
 GREGORY & CHARRON BOSSONG
 411 SECOND AVENUE
 HADDON HEIGHTS, NJ 08035
 PH: 856-796-3275
 EMAIL: contact.charron.obrien@gmail.com

irving design group, llc
 land use planning & design
 10 WHITE HORSE PIKE
 HADDON HEIGHTS, NJ 08035
 PH: (856) 310-9200
 CERTIFICATE OF AUTHORIZATION #24CA250280

MARTIN W. IRVING, LLA, PP
 NJ LIC. LANDSCAPE ARCHITECT LIC. # 21A50007990
 NJ PROFESSIONAL PLANNER LIC. # 33100878200

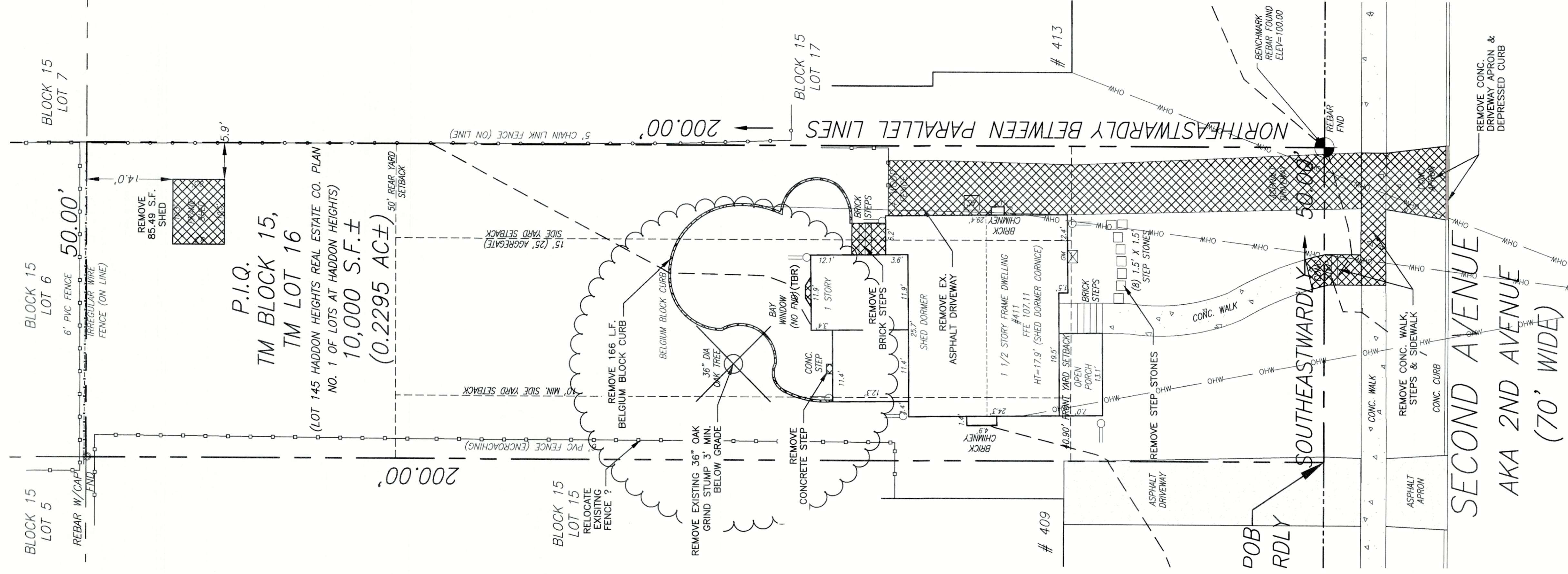
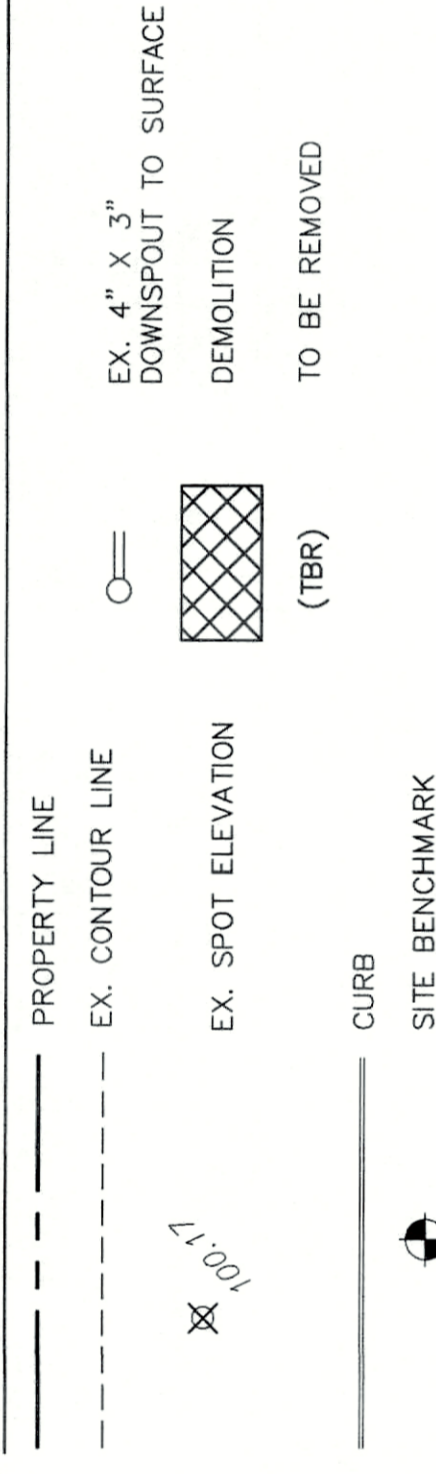
PROJECT#: 8056-24-001 DATE: 3/19/24
 DRAWN BY: JD CHKD BY: MWJ SCALE: 1"=10'
 DRAWING NO.: **Z-1** SHEET NO.: **2 OF 4**

ZONING PLAN
 #411 SECOND AVENUE
 BLOCK 15 - LOT 16 - PLATE 2
 BOROUGH OF HADDON HEIGHTS
 COUNTY OF CAMDEN
 STATE OF NEW JERSEY

GENERAL DEMOLITION NOTES:

- 1.) THE GENERAL CONTRACTOR SHALL BE DESIGNATED AS THE "RESPONSIBLE PERSON IN CHARGE OF CONSTRUCTION" AND THE SITE SUPERVISOR RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO NEW JERSEY STATE CODE.
- 2.) THE CONTRACTOR SHALL CONTACT THE NEW JERSEY STATE UTILITY ONE-CALL PRIOR TO COMMENCEMENT OF ANY EXCAVATION. CONTRACTOR SHALL THEN ALSO CONFIRM THE LOCATION OF ALL UTILITIES.
- 3.) THE CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE DISCONNECTION OF ALL SITE UTILITIES PRIOR TO COMMENCEMENT OF DEMOLITION.
- 4.) THE CONTRACTOR SHALL ADHERE TO AND OBEY ALL APPLICABLE FEDERAL, STATE, LOCAL, AND OSHA REGULATIONS PERTAINING TO DEMOLITION WORK.
- 5.) THE CONTRACTOR SHALL REMOVE ALL DEMOLITION DEBRIS FROM THE SITE AND DISPOSE OF IT PROPERLY OFF-SITE. NO BURNING OF DEBRIS ON SITE WILL BE PERMITTED.
- 6.) CONTRACTOR TO FIELD VERIFY CONNECTION OF ALL EXISTING UTILITY LATERALS TO THE BUILDING AND BETWEEN BUILDINGS.
- 7.) ALL FOUNDATIONS AND FOOTING SYSTEMS AND SUBSURFACE STRUCTURES SHALL BE REMOVED TO A DEPTH OF 3' BELOW POST-DEMOLITION GRADES DURING DEMOLITION. ALL UTILITY LINES AND PIPES SHALL BE REMOVED.
- 8.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY DURING THE DURATION OF DEMOLITION.
- 9.) DEMOLITION SHALL BE PERFORMED BY TRADITIONAL MEASURES INCLUDING WRECKING PERMITTED.
- 10.) DEMOLITION SHALL BE COMPLETED WITHIN THE TIME FRAME ALLOTTED BY THE OWNER.
- 11.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL MEASURES.
- 12.) CUT AND CAP ALL UTILITIES BACK TO 5 FEET INSIDE PROPERTY LINE. VENT AND FLUSH ALL LINES PRIOR TO CAPPING.
- 13.) CONTRACTOR TO SAWCUT EXISTING SIDEWALKS, PAVEMENT, AND ASPHALT, FORMING A CLEAN EDGE AT PORTIONS TO REMAIN.
- 14.) THE CONTRACTOR SHALL IMPLEMENT SOIL EROSION CONTROL MEASURES, AS OUTLINED IN THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN, PRIOR TO AND DURING DEMOLITION.
- 15.) ANY CONCRETE SIDEWALK, APRON OR CURBING OR ASPHALT DRIVEWAY WITHIN THE RIGHT OF WAY DAMAGED DURING CONSTRUCTION WILL BE REPAIRED OR REPLACED AT THE APPLICANT'S EXPENSE.

LEGEND



DEMOLITION PLAN

GRAPHIC SCALE



1" = 40'
 (IN FEET)

Irving design group, llc

APPROXIMATE LOCATION OF UNDERGROUND UTILITIES HAVE BEEN SHOWN ON THE PLANS. THE CONTRACTOR IS TO TAKE CARE OF HIMSELF WITH REGARD TO THE CONDITIONS AT THE SITE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF DEMOLITION. THE CONTRACTOR SHALL NOTIFY THE LOCAL UTILITIES AND OTHER OPERATORS OF UNDERGROUND SYSTEMS TO DETERMINE THE EXACT LOCATION OF UTILITY STRUCTURES. PURSUANT TO P.L. 1994 CHAPTER 118 "UNDERGROUND FACILITY PROTECTION ACT", THE CONTRACTOR SHALL, AS A MINIMUM, CONTACT THE NEW JERSEY DEPARTMENT OF TRANSPORTATION AND INFRASTRUCTURE AND THE NEW JERSEY DEPARTMENT OF COMMERCIAL WORK, TO NOTIFY THIS AGENCY OF THIS PROJECT AND TO COORDINATE LOCATION OF UNDERGROUND FACILITIES IN THE VICINITY OF THIS PROJECT.

Know what's below.
 Call before you dig.

© 2024 by Irving design group, llc



ALL RIGHTS RESERVED. No part of this document may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying or recording, without the permission in writing of Irving design group, llc.

No.	REVISIONS/SUBMISSIONS	DATE
0	INITIAL ISSUE	3/15/24

OWNER/APPLICANT:
GREGORY & CHARRON BOSSONG
 411 SECOND AVENUE
 HADDON HEIGHTS, NJ 08035
 PH: 856-796-3275
 EMAIL: contact.charron.obrien@gmail.com

irving design group, llc
 land use planning & design
 10 WHITE HORSE PIKE
 HADDON HEIGHTS, NJ 08035
 PH: (856) 3109200
 CERTIFICATE OF AUTHORIZATION
 24-6242002800

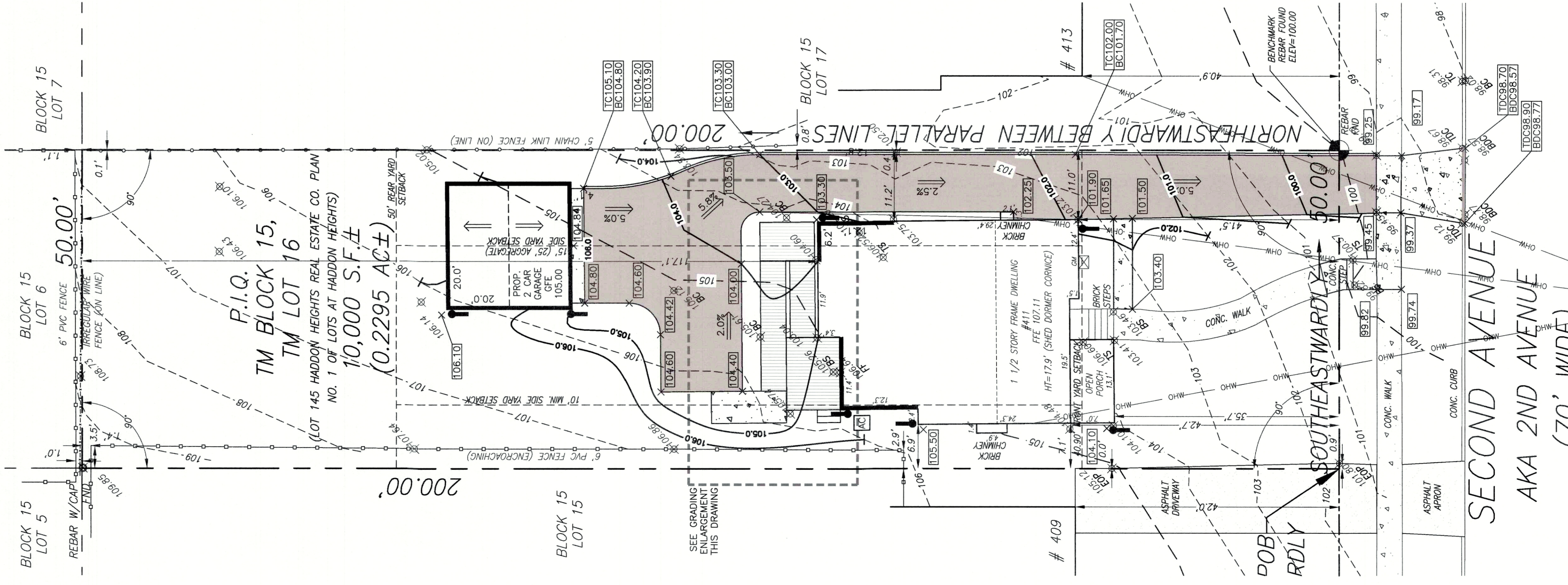
MARTIN W. IRVING, LLA, PP
 NJ LIC. LANDSCAPE ARCHITECT LIC. #24880097900
 NJ PROFESSIONAL PLANNER LIC. #33109570200
 PROJECT#: BOSS-24-001 DATE: 3/15/24
 DRAWN BY: JD CHK'D BY: MWI SCALE: AS NOTED
 DRAWING NO.: **DP-1** SHEET NO.: **3 OF 4**

DEMOLITION PLAN

#411 SECOND AVENUE
 BLOCK 15 - LOT 16 - PLATE 2
 BOROUGH OF HADDON HEIGHTS
 COUNTY OF CAMDEN
 STATE OF NEW JERSEY

GRADING NOTES:

- DATUM NOTE: VERTICAL DATUM ASSUMED HORIZONTAL DATUM BASED ON DEED OF RECORD.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL INSTALL SOIL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH APPLICABLE STANDARD.
- THE CONTRACTOR SHALL NOT PLACE ANY MATERIAL OR DISTURB ANY SOIL BEYOND PROPERTY LINES OR RIGHT OF WAY WITHOUT PERMISSION OF PROPERTY OWNER DIRECTLY INVOLVED.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATION OF ALL EXISTING UTILITIES ON THE SITE AND SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO START OF EXCAVATION.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND SHALL PAY FOR ALL FEES INCLUDING INSPECTION FEES. THE CONTRACTOR SHALL GIVE SUFFICIENT ADVANCE NOTICE TO THE CITY ENGINEER AND ALL OTHER APPLICABLE PARTIES SO THAT REQUIRED INSPECTIONS CAN BE PERFORMED.
- INSPECTION OF OR FAILURE TO INSPECT ANY MATERIAL OR WORKMANSHIP BY BOROUGH, COUNTY OR STATE ENGINEER SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM THE WORK IN ACCORDANCE WITH THE APPROVED PLANS, SPECIFICATIONS, LAWS AND ORDINANCES.
- THESE DRAWINGS DO NOT SHOW OR INCLUDE COMPONENTS NECESSARY FOR CONSTRUCTION SAFETY; THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING THE METHODS OF CONSTRUCTION AND SHALL MEET ALL APPLICABLE SAFETY RULES AND REGULATIONS.
- TOPSOIL PRESERVATION - TOPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED ON ALL REGRADED SURFACES SO AS TO PROVIDE AT LEAST FOUR (4) INCHES OF EVEN COVER TO ALL DISTURBED AREAS OF THE DEVELOPMENT AND SHALL BE STABILIZED BY SEEDING OR PLANTING.
- REMOVAL OF DEBRIS - ALL STUMPS AND OTHER TREE PARTS, LITTER, BRUSH, WEEDS, EXCESS OR SCRAP BUILDING MATERIALS OR OTHER DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH THE LAW. NO TREE STUMPS, OR PORTIONS OF TREE TRUNKS OR LIMBS SHALL BE BURIED ANYWHERE IN THE FEES AND LINES ARE REDUCED TO CHIPS. WHEN TRUNKS, BRANCHES OR LIMBS ARE CUT, THEY MAY BE USED AS MULCH IN LANDSCAPE AREAS, SUBJECT TO APPROVAL BY THE CITY ENGINEER.

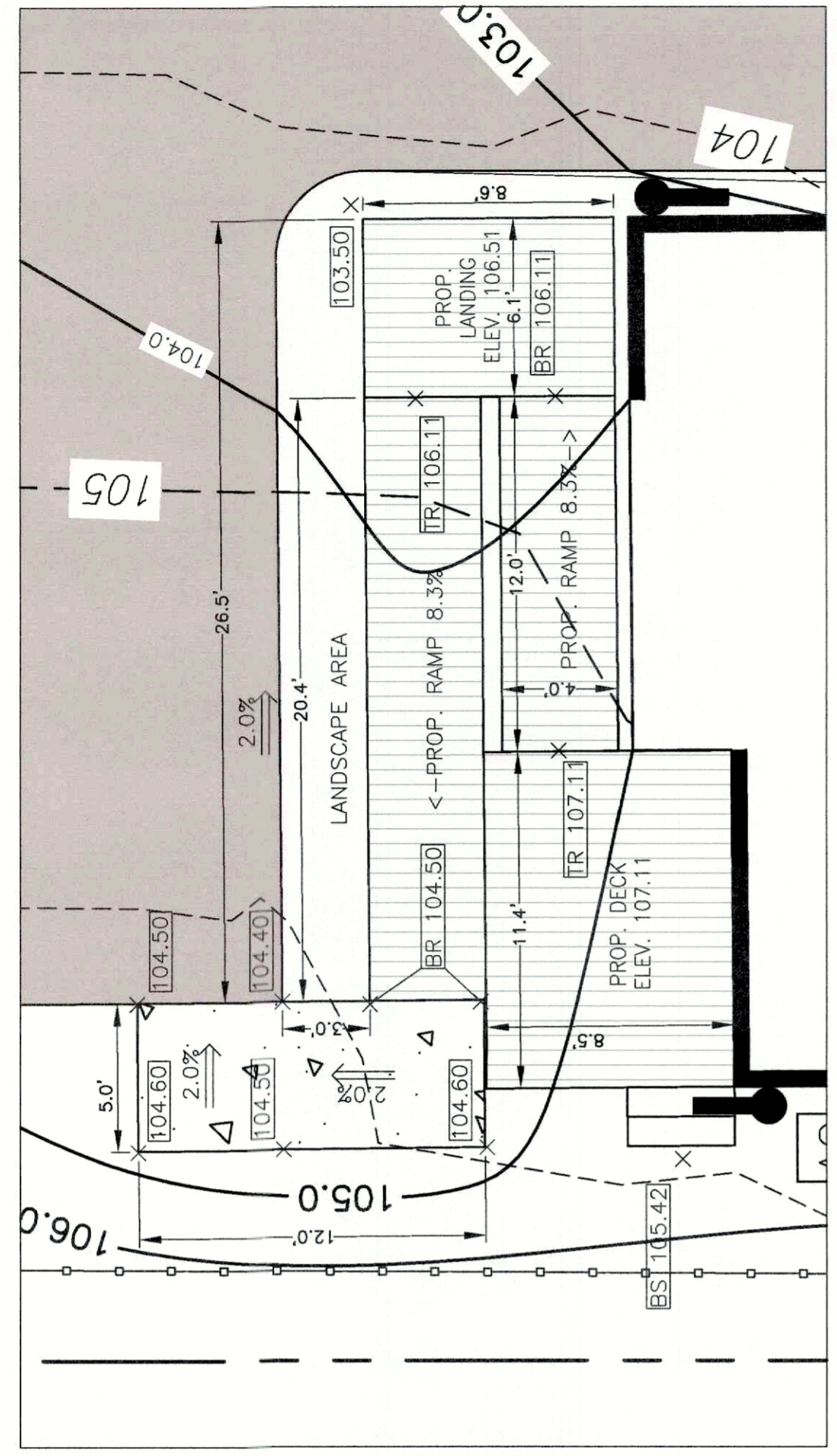


APPROXIMATE LOCATION OF UNDERGROUND UTILITIES HAVE BEEN SHOWN ON THE PLANS. THE CONTRACTOR IS TO FAMILIARIZE HIMSELF WITH AND VERIFY CONDITIONS AT THE SITE. THE CONTRACTOR SHALL MAKE DILIGENT INQUIRY AT THE OFFICE OF UTILITY COMPANIES, MUNICIPAL AUTHORITIES AND OTHER OPERATORS OF UNDERGROUND SYSTEMS TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL AS A MINIMUM, CONTACT THE NEW JERSEY ONE - CALL SYSTEM AT 811 OR 1-800-272-1000 AT LEAST 3 DAYS PRIOR TO COMMENCING WORK, TO NOTIFY THE AGENCY OF THE PROJECT AND TO COORDINATE LOCATION OF UNDERGROUND UTILITIES IN THE VICINITY OF THIS PROJECT.

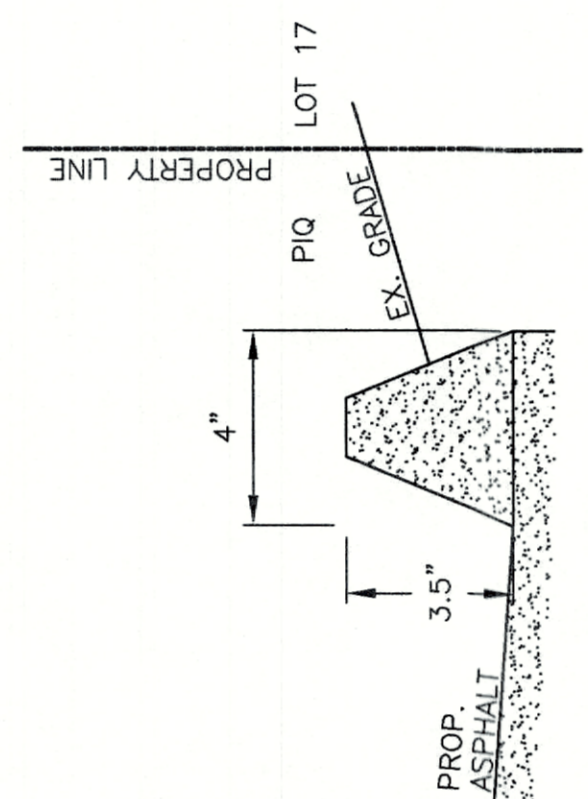
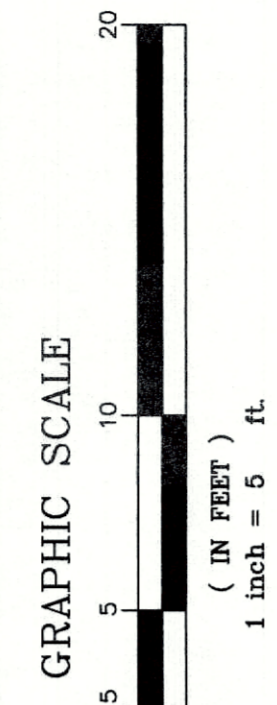
© 2024 by **irving design group, llc**. All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying or facsimile, without the permission in writing of **irving design group, llc**.

LEGEND

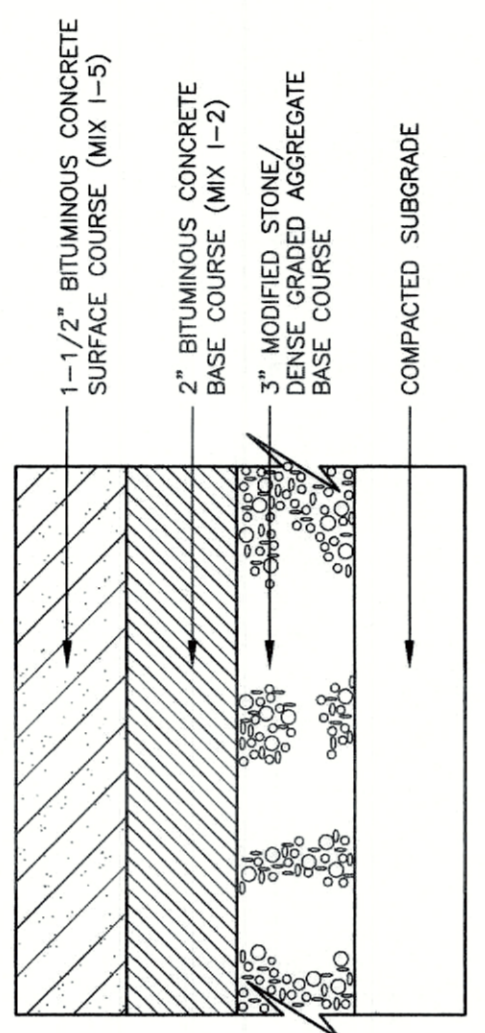
- PROPERTY LINE
- EX. CONTOUR LINE
- PROP. CONTOUR LINE
- EX. SPOT ELEVATION
- PROP. SPOT ELEVATION
- CURB
- SITE BENCHMARK
- EXISTING ASPHALT
- PROP. ASPHALT
- PROP. 4" X 3" DOWNSPOUT W/ RAIN BARREL
- EX. 4" X 3" DOWNSPOUT TO SURFACE
- DEMOLITION
- TO BE REMOVED
- FLOW ARROW
- PROP. CONCRETE



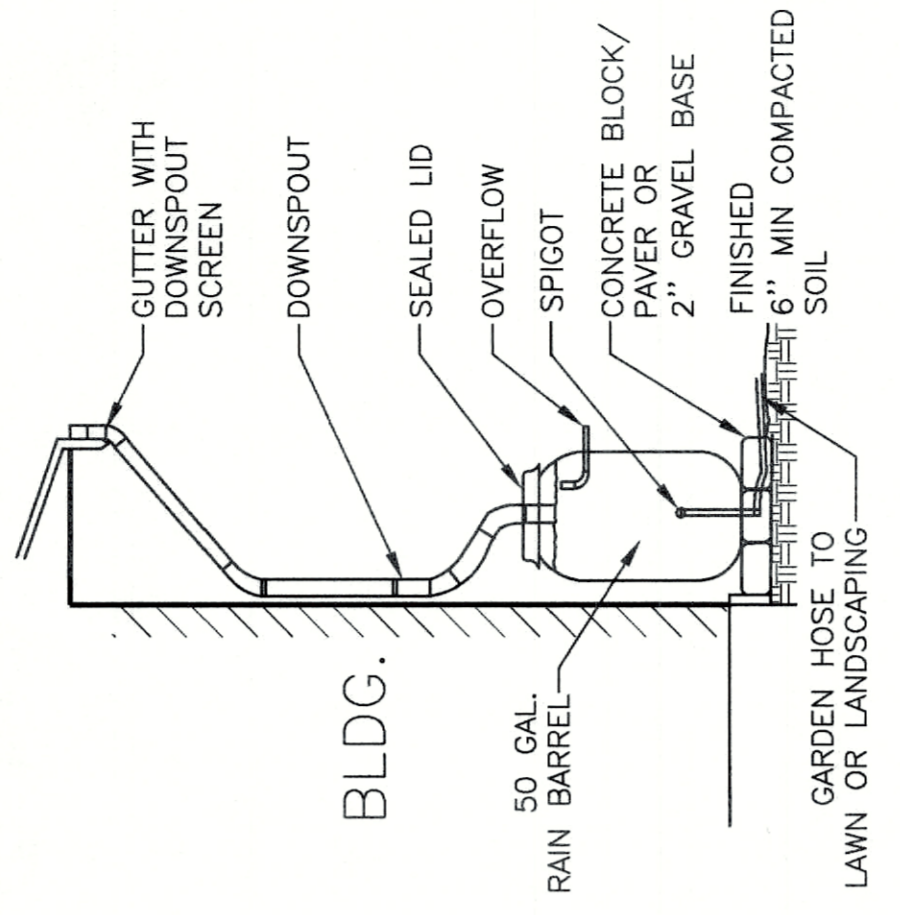
GRADING ENLARGEMENT



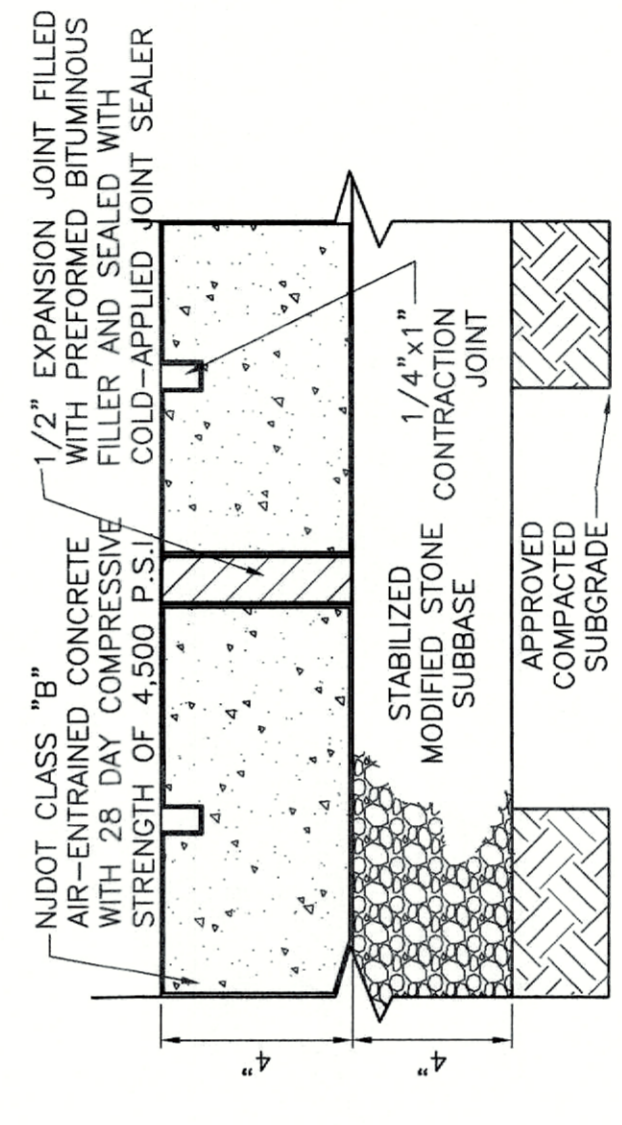
3.5" AVERAGE HEIGHT ASPHALT CURB DETAIL
NOT TO SCALE



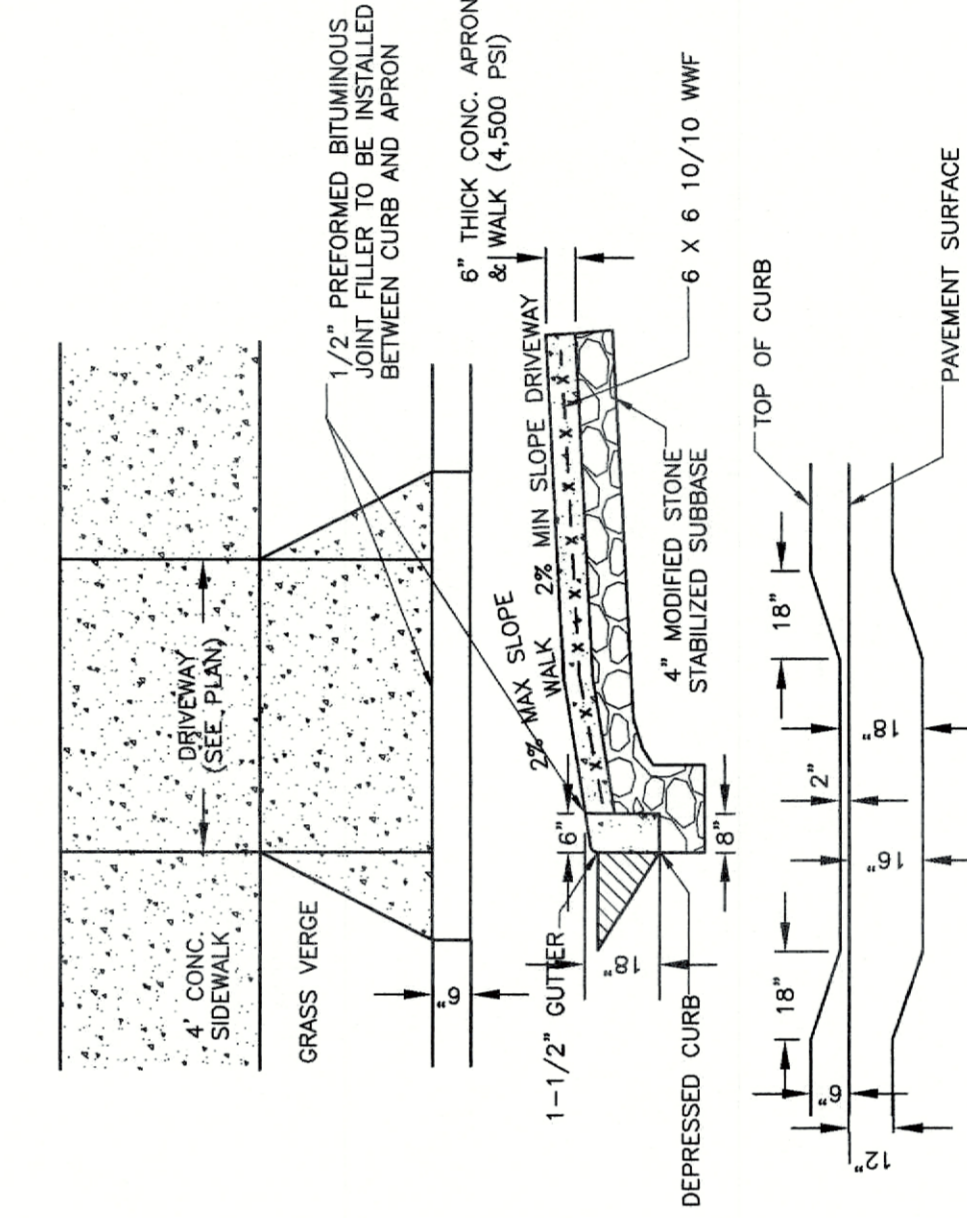
ASPHALT DRIVEWAY DETAIL
NOT TO SCALE



RAIN BARREL DETAIL
NOT TO SCALE

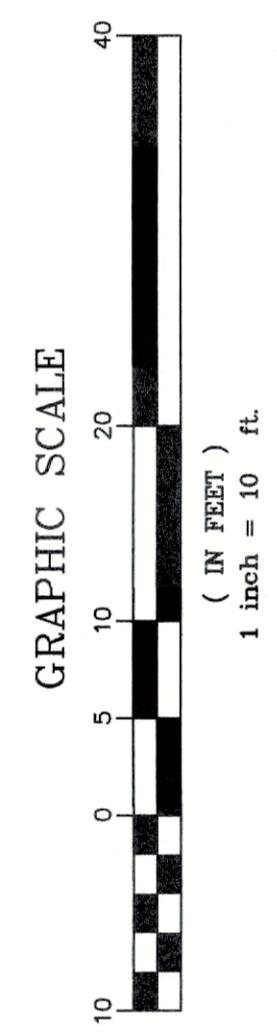


CONCRETE WALK DETAIL
NOT TO SCALE



DRIVEWAY APRON & DEPRESSED CURB DETAIL
NOT TO SCALE

GRADING PLAN



No.	REVISIONS/SUBMISSIONS	DATE
0	INITIAL ISSUE	3/19/24

OWNER/APPLICANT:
GREGORY & CHARRON BOSSONG
411 SECOND AVENUE
HADDON HEIGHTS, NJ 08035
PH: 856-796-3275
EMAIL: contact.charron.obrien@gmail.com

irving design group, llc
land use planning & design
10 WHITE HORSE PIKE
HADDON HEIGHTS, NJ 08035
PH: (856) 310-9200
CERTIFICATE OF AUTHORIZATION #24CA20240280

MARTIN W. IRVING, L.L.A., PP
NJ LIC. LANDSCAPE ARCHITECT LIC. # 21A60007700
NJ PROFESSIONAL PLANNER LIC. # 35L00876200
DRAWN BY: josedickov BY: **irving** SCALE: AS NOTED
DRAWING NO.: **GP-1 4 OF 4**

GRADING PLAN
#411 SECOND AVENUE
BLOCK 15 - LOT 16 - PLATE 2
BOROUGH OF HADDON HEIGHTS
COUNTY OF CAMDEN
STATE OF NEW JERSEY