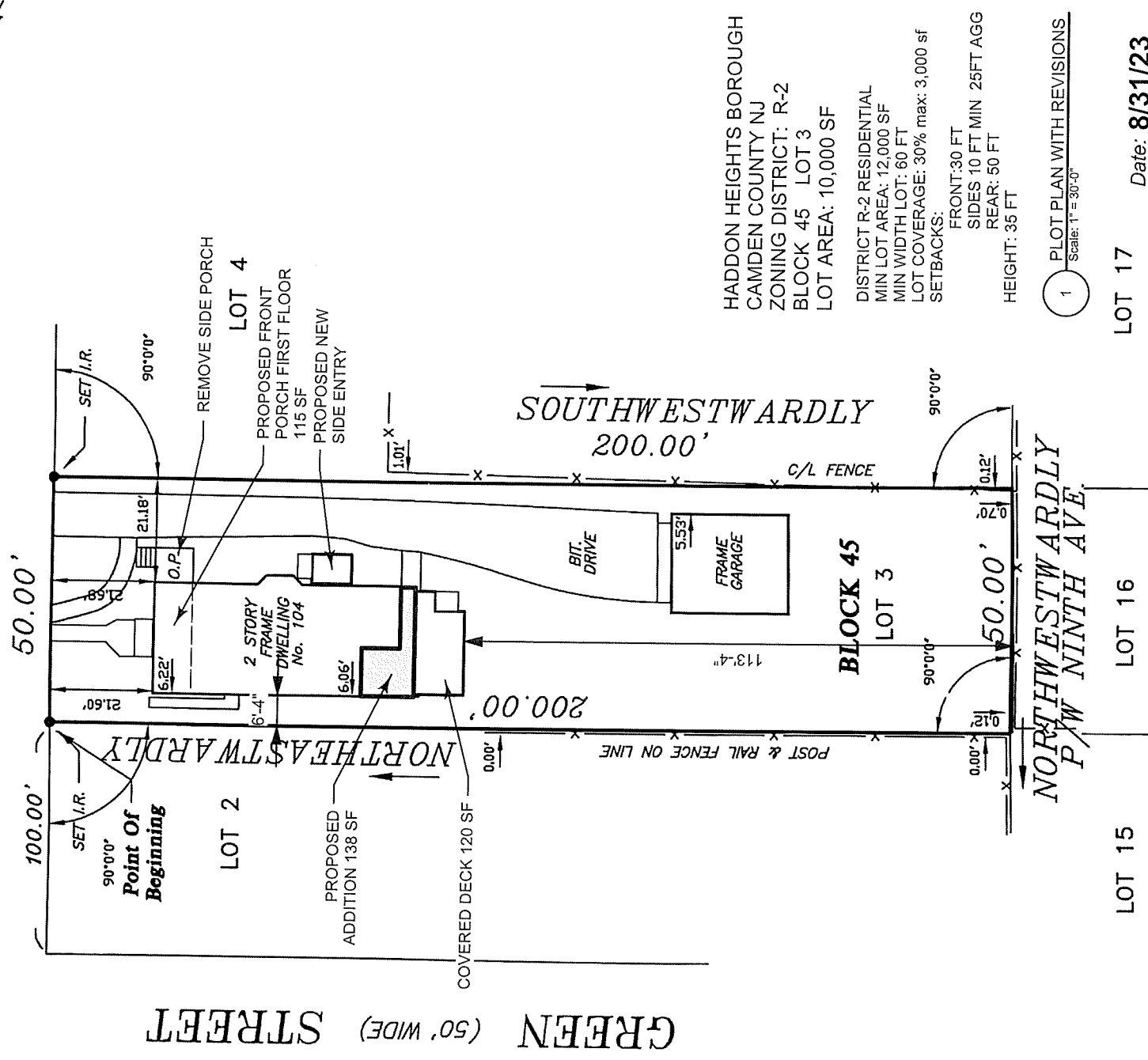




NINTH (70' WIDE) AVENUE
SOUTHEASTWARDLY



GREEN STREET (50' WIDE)
NORTHEASTWARDLY

HADDON HEIGHTS BOROUGH
CAMDEN COUNTY NJ
ZONING DISTRICT: R-2
BLOCK 45 LOT 3
LOT AREA: 10,000 SF

DISTRICT R-2 RESIDENTIAL
MIN LOT AREA: 12,000 SF
MIN WIDTH LOT: 60 FT
LOT COVERAGE: 30% max: 3,000 sf
SETBACKS:
FRONT: 30 FT
SIDES 10 FT MIN 25FT AGG
REAR: 50 FT
HEIGHT: 35 FT

1 PLOT PLAN WITH REVISIONS
Scale: 1" = 30'-0"

LOT 17
Date: 8/31/23

David J. Barici, RA
732 College Rd.
Glenside, PA 19038
Phone: 215.833.4375
Fax: 866.335.8041
djbarchitect@comcast.net
www.djbarchitect.net
PA: RA-011072-X
NJ: 10999
MD: 0014403

LEVEL	EXISTING	DELETION	ADDITION	TOTALS
SECOND FLOOR	706 sq ft		567 sq ft	= 1172 sq ft
FIRST FLOOR	1073 sq ft	115 sq ft	138 sq ft	= 1096 sq ft
TOTAL AREA	1779 sq ft	705 sq ft	705 sq ft	= 2268 sq ft
FRONT PORCH			138 sq ft	
SIDE PORCH	42 sq ft	42 sq ft	55 sq ft	
REAR PORCH	120 sq ft	120 sq ft	189 sq ft	
BASEMENT	659 sq ft			
VOLUME	26825 cu ft		27575 cu ft	

total building coverage: 138+1096+55+189= 1478 sf

BEING LOT 34, PLAN OF PARK PLACE LOTS,
NOT FILED.

BEING LOT 3, BLOCK 45 TAX MAP OF LAND,
10,000.00 S.F. (0.229± ACRES) OF LAND.

MICHAEL F. KUZNIAR
KRISTYN De-SANTIS
TRIDENT LAND TRANSFER CO. (NJ) LP
TRIDENT MORTGAGE COMPANY, L.P.,
its successors and/or assigns
as their interest may appear.

TO INSUROR OF TITLE RELYING HEREON AND ANY OTHER PARTY
IN INTEREST IN THE LAND:
IN CONSIDERATION OF THE FEE PAID FOR MAKING THIS
SURVEY, I HEREBY CERTIFY TO ITS ACCURACY (EXCEPT
SUCH CASES, IF ANY, THAT MAY BE LOCATED BELOW THE
SURFACE OF THE LAND, OR ON THE SURFACE OF THE LANDS
AND NOT VISIBLE AS AN INDUCEMENT FOR ANY INSUROR OF
TITLE TO INSURE THE TITLE TO THE LANDS AND PREMISES
SHOWN THEREIN.

John McGlinchey
N.J. LAND SURVEYOR LICENSE No. 34866

JOHN MCGLINCHY

SURVEY AND PLAN OF PREMISES

No. 104 NINTH AVENUE
BOROUGH OF HADDON HEIGHTS
CAMDEN COUNTY, N.J.

SCALE: 1" = 30'
DATE: 04-04-2011
DRAWN BY: J McG
REVISED:
DRAWING No. 11-086

JOHN MCGLINCHY P.L.S.
PROFESSIONAL LAND SURVEYOR

5 MARIGOLD COURT • MT. LAUREL, N.J. 08054

TEL. (856) 727-4353 FAX. (856) 727-4360

General Requirements

All codes having jurisdiction shall be observed strictly in the construction of the project, including all applicable state, city, and county building, zoning, electrical, mechanical, plumbing and fire codes. Contractor shall verify all code requirements before commencement of construction and bring any discrepancies between existing conditions and construction documents to the attention of the Architect.

Details and sections on the drawings are shown at specific locations and are intended to show general requirements throughout. Details noted "typical" imply all conditions treated similarly. Modifications may be made by contractor to accommodate minor variations.

All drawings shall be fully coordinated by contractor to verify all dimensions, locate depressed slabs, slopes, drains, outlets, recesses, reglets, bolt settings, sleeves, etc. The contractor shall verify and protect all service lines and existing site area from deterioration or damage.

The Architect/Engineer shall not be responsible for the safety and construction procedures, technique, or the failure of the builder to carry out the work in accordance with the drawings or the required codes and the abatement of hazardous materials.

Documents prepared for this project are instruments of service for use solely for this project. The Architect shall retain all common law, statutory and other reserved rights of the documents.

The Contractor shall obtain all necessary building permits.

Concrete
Concrete shall be portland cement installed per ACI 318 latest edition
Walls & Footings: 3000 psi 28 day comp. strength
Interior slabs: 2500 psi min.
Exterior slabs: 3500 psi
Steel reinforcement: Grade 40 ASTM A 615
Crushed Stone: ASTM 57
Slab underlayment: 6 ml vapor barrier lap joints 6" min.

Masonry
CMU: ASTM C-90 TYPE II
min compressive strength: 1000 psi
New Mortars shall meet ASTM C270
Mortar type: M for below grade Type S for above grade
Grouts shall meet ASTM C476
Cultured Stone: per Owner spec and installed per Mr. Recommendations

Metals
Structural Steel: ASTM A-36
Anchor bolts: Galvanized min. 1/2" dia x 15"
Lag bolts & Through bolts: Galv. with washer per detail
Flashings to be galv. and back painted at conditions of contact with treated lumber
All structural steel to be provided with corrosion resistant paint finish.

Carpentry
All woods and wood construction shall comply with specifications and codes with modifications as specified herein:
National Forest Products Association: National Design Specifications for wood construction, NDS (latest ed.)
American Plywood Association: Guide to plywood for floors, plywood sheathings for walls and roofs.
American Wood-Preservers Association Standards.

All structural lumber shall be Hem Fir No.2 Structural lumber or better.
Fb = 1000 Fv = 135 Fc = 1400 E = 1.6⁸
Non-Bearing lumber shall be SPF No.2 (min.) or better
Fb = 875 Fv = 135 Fc = 1150 E = 1.4⁸
Engineered lumber shall be "Versalam" by Boise Cascade or equal
Fb = 3100 Fv = 285 Fc = 3000 E = 2.0⁸

The Design Loads are as follows:
Deflection Criteria: floors : L/480 roof: L/240
ROOF FLOOR
Live Load: 30 psf Live Load: 40 psf
Dead Load: 15 psf Dead Load: 15 psf
Wind design speed: 112 mph Exposure B, CAT II
Wall Bracing Method : CS-WSP
Presumptive soil bearing : 3000 psf

Roof Framing to be Engineered Trusses installed per Mr. Requirements max. 24" on center, 7/16" osb sheathing min. with panel clips mid span.
Provide temporary bracing during construction and final bracing as per manufacturer's recommendations and the "BCSI" standards.
Truss fabrication drawings must be submitted to Architect prior to fabrication and construction of project for review by Architect.

All frame headers at non-bearing conditions shall be as follows:

OPENING SIZE	HEADER
up to 4'-0"	(2) 2X4
4'-0" to 6'-0"	(2) 2X6
6'-0" to 9'-0"	(2) 2X8

KING AND JACK STUDS IN EXTERIOR WALLS		
OPENING SIZE	# KING EACH SIDE	# JACK STUDS
UP TO 6'-0"	1	1
10'0" AND OVER	2	2

SIZE OF HEADER SEE PLAN

Walls shall be 2x6 at 16" oc or 2x4 @ 16" oc (see plan) Plans are dimensioned to rough framing edge.
Openings shall all have (1) king stud and (1) jack stud per jamb. Where multiple jacks are required see plan for note. Bearing walls shall have double top plates and

Provide and install galv. flashing at all roof to wall conditions projections of wood beams through exterior walls, exterior openings, and elsewhere as required to provide water-tight and weatherproof performance.

Roofing shall be asphalt fiberglass shingles min. 30 yr. to be fastened according to manufacturer's recommended instructions over approved underlayment or 15# felt min. Provide two layers of 15# building felt as underlayment (min.) at roofs with pitch less than 4/12 or ice-water shield.

Roofing Color and style per Owners Spec.

Provide ice and water shield underlayment at eaves to extend a minimum of 24" past exterior wall surface
Gutters and leaders to be 0.32" prefinished aluminum. Locate as indicated.

Enclosed attic spaces and roof rafters shall have cross ventilation for each separate space by ventilation openings and ridge vents protected against the entrance of rain and insects. Refer to drawings for locations.

Building wrap: "Tyvek" building wrap or approved equal
Provide and install 11 1/2" thick insulation with an R value of 38 in all roof/ceiling insulation in all roof/ceiling spaces above living areas and where indicated on drawings.
Provide and install 3 1/2" thick kraft faced glass fiber batt insulation with an R value of 13 in all exterior walls spaces adjacent to heated areas.

Provide and install 6" thick glass fiber batt insulation with an R value of 20 in all 5 1/2" ext. walls and floors over crawl spaces

Fill all voids around doors, windows and openings w/ fiberglass and/or foam insulation. Fit insulation tight to and behind mechanical and electrical service devices and boxes. Leave no gaps or voids.
Where existing finish is removed in exterior walls verify existing insulation and replace or add new insulation meeting above standards.

Provide cont. bead of silicone sealant at bottom of all exterior wall sole plates where drywall meets floor and existing walls.

Doors and Windows
Reference standards for doors shall be as follows:
a. Underwriters Laboratories, Inc. Building Materials directory
b. National Woodwork Manufacturers association: I.S.1078 Wood flush doors.
c. Air leakage: ASTM E283
d. Water Resistance: ASTM E331

Glazing in locations which may be subject to human impact such as frameless glass doors, glass entrance and exit doors, tub enclosures and storm doors shall meet the requirements set forth in the Building Code and the Safety Standard for Glazing Materials (16 CFR 1201). All glazed panels located within 24" of a door shall be tempered glass, unless such panels are provided with a horizontal member of 1-1/2" in width and located 36" above the walking surface.

Windows
Shall be Andersen 200 or approved equal, and meet or exceed the following specifications:
Glazing shall be clear insulated Low E glazing with a U value of min U-.30 Construction shall be "vinyl" wood or composite nomenclature: DH-3050 = Double Hung - 3'-0" wide x 5'-0" high
DHS/SH Sash shall have tilt-in feature.
Interior trim shall be drywall return w/ wood stool.
Egress windows shall meet or exceed Code requirements of 20"x24" clear opening with min. of 5.7 sq. ft. vent space.
Second floor windows to have finished sill 24" above finish floor or safety locks

Guardrails: Exterior guards to be Vinyl finish with top rail 36" high above finished floor surface with bottom rail max. 4" above floor, and ballusters 1"x1" square at 4-1/4" max on center.

Interior guardrails to be wood with top rail 36" above finished floor and ballusters at 4-1/4" max o.c. Style and finish per Owner Spec.

Stair Handrails : to be 2-1/4" max round wood or metal and mounted to wall with brackets at max 48" o.c. to provide 1-1/2" clearance to wall surface.

Wall base: to be wood 4" high minimum with ogee cap or as per Owners specification.

Door and opening casement: min. 3" brick mould stock or as per Owner specification

Interior Doors:
1-3/8 inches
Solid core wood Colonial 6 panel or per Owners schedule.
Lockset to be lever style privacy or passage per room, quality and model per Owner schedule.
Hinges: removable pin 1 set per 6'-8" door, 1-1/2 set per 8'-0" nomenclature: 3068 = 3'-0" wide x 6'-8" high nominal

Exterior Doors: shall meet AIA/WDMA & Energy Star standards
1-3/4 inches (nom), "Therma-Tru" fiberglass or metal finish, insulated core or equal, min "U" factor 0.34
Hardware lockset to have lever entry style with deadbolt, model and style per by Owner schedule.
Glazing to be tempered and insulated
Fully gasketed weatherstripping with integral threshold.

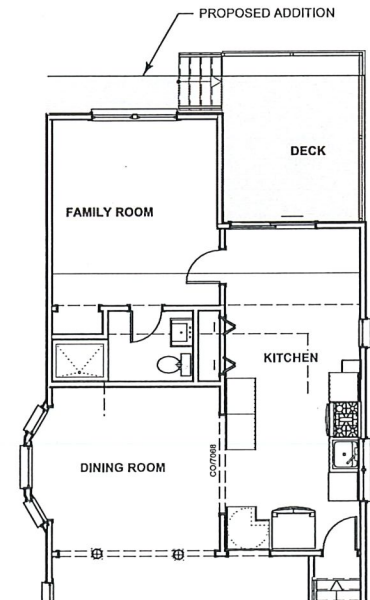
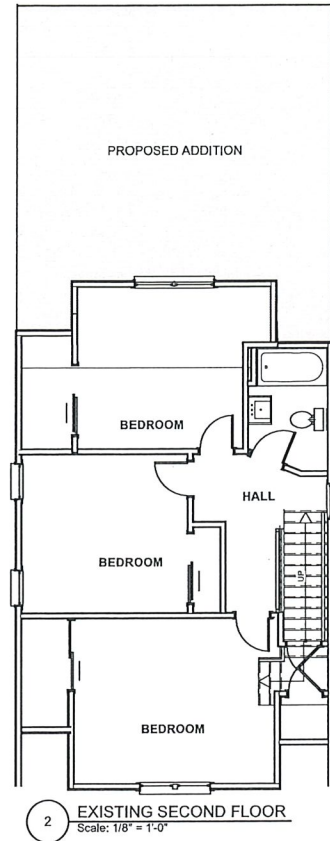
Finishes
Provide and install gypsum wallboard in accordance with "American Standard Specifications for the Application and Finishing of Gypsum Wallboard", as approved by the American Standards Association, latest edition, applicable parts thereof are hereby made part of this specification except where more stringent requirements are called for in this specification, in local codes, or by the manufacturer of the gypsum wall board, whose requirements shall be followed.
Provide and install gypsum wall board, 1/2" & 5/8" "X" thick at all walls and ceilings unless noted otherwise indicated on the drawings. Provide all trim accessories, finish tape and spackling in accordance with Standard Specifications.
Provide floor finish per Owners specification and install per manufacturer's printed instructions.

Application of paint or other coating shall be in strict accordance with the manufacturer's instructions. Paint shall not be thinned, except as permitted in the application instructions.
Ceramic tiles shall meet the Tile Council of America Specification 137.1 in colors and patterns. Provide ceramic tile and accessories complying with the selected by the Owner from standard colors and patterns of the approved manufacturers. Install ceramic tile in compliance with pertinent recommendations contained in the Tile Council of America "Handbook for Ceramic tile installation" and the manufacturer's printed instructions

Electrical
Electrical systems shall be installed to meet or exceed NFPA 70 National Electrical Code latest Approved Edition and per all Local and State standards
Contractor shall provide and install all labor, materials, and equipment necessary to install wiring, related fixtures, electric heating elements, and control. All work shall comply with the National Electrical Code and State and local codes and ordinances. Subcontractors shall coordinate work with all other trades. Terminal hookup is required of all fixtures and appliances, motors, fans, and controls. All materials shall meet or exceed code requirements.
All penetrations of wall plate firestops and rated assemblies shall be caulked and sealed to maintain required rating with approved safing and methods.

Materials and equipment shall be new and listed by Underwriter's Laboratories, Inc. and bear their label wherever standards have been established and their label service is installation furnished. Verify and locate all receptacles prior to installation of drywall.
All equipment installed outdoors and exposed to weather shall be weather-proof and all outlets shall be GFI in addition. Receptacles at Kitchen and Baths and counters shall be GFI (ground fault interrupter) between counter height and 48" above finished floor and where shown on drawings.
Receptacles shall be installed at 18" to 48" above finished floor.
Switches shall be installed at 48" max a.f.f. at latch side of doorways or as shown on drawings.
Provide luminaires as per Owner's schedule or to match existing.
Smoke detectors hardwired & with battery backup shall be installed in all bedrooms and per NFPA 72 and IRC requirements one smoke/co detector per floor and one smoke n each bedroom.

Mechanical and Ventilation
Subcontractors shall coordinate work with all other trades.
All work shall comply with ACC Manual J, S, & D including State and local codes and ordinances.
Drawings are schematic and existing conditions shall govern location of ductwork. Where ductwork conflicts with structural elements contractor shall notify Architect. Existing system shall be extended to incorporate addition
Exhaust fans min. 110 cfm in each bath installed per Mr rec.
Plumbing
Plumbing shall be installed as per National Standard Plumbing Code and local standards. Conflicts with structure shall be resolved by maintaining the integrity of the structure and codes. Contractor shall notify Architect of conflict or discrepancies.



PROJECT DESCRIPTION:

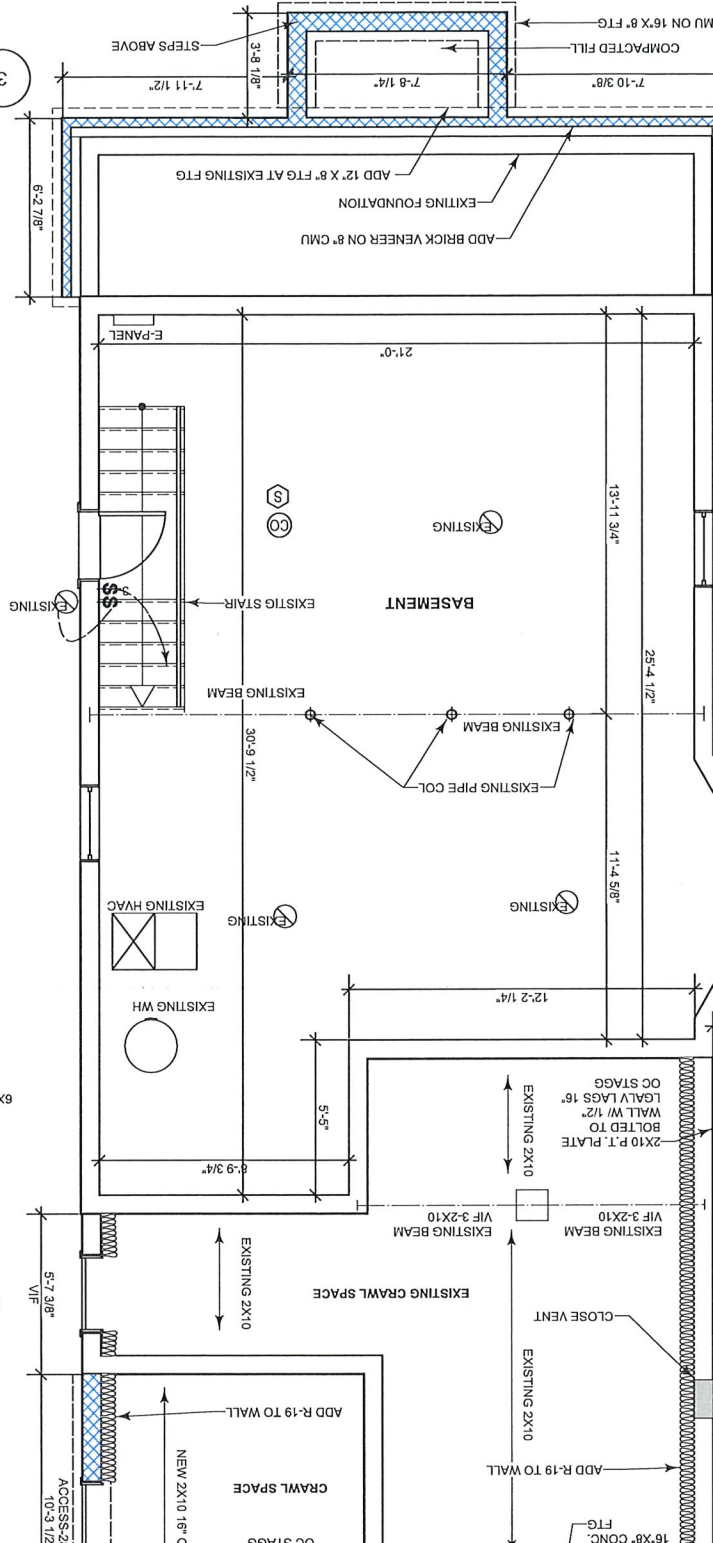
EXISTING RESIDENCE, 3 BEDROOMS 1-1/2 BATHS
ADDITION OF KITCHEN & BEDROOM WITH BATH TO REAR OF HOME

LEVEL	EXISTING	DELETION	ADDITION	TOTALS
SECOND FLOOR	706 sq ft	567 sq ft	=	1172 sq ft
FIRST FLOOR	1073 sq ft	115 sq ft	138 sq ft	= 1096 sq ft
TOTAL AREA	1779 sq ft	705 sq ft	=	2268 sq ft
FRONT PORCH			138 sq ft	
SIDE PORCH	42 sq ft	42 sq ft	55 sq ft	
REAR PORCH	120 sq ft	120 sq ft	189 sq ft	
BASEMENT	659 sq ft			
VOLUME	26825 cu ft			27575 cu ft

HADDON HEIGHTS BOROUGH
CAMDEN COUNTY NJ
ZONING DISTRICT: R-2
BLOCK 45 LOT 3
LOT AREA: 10,000 SF

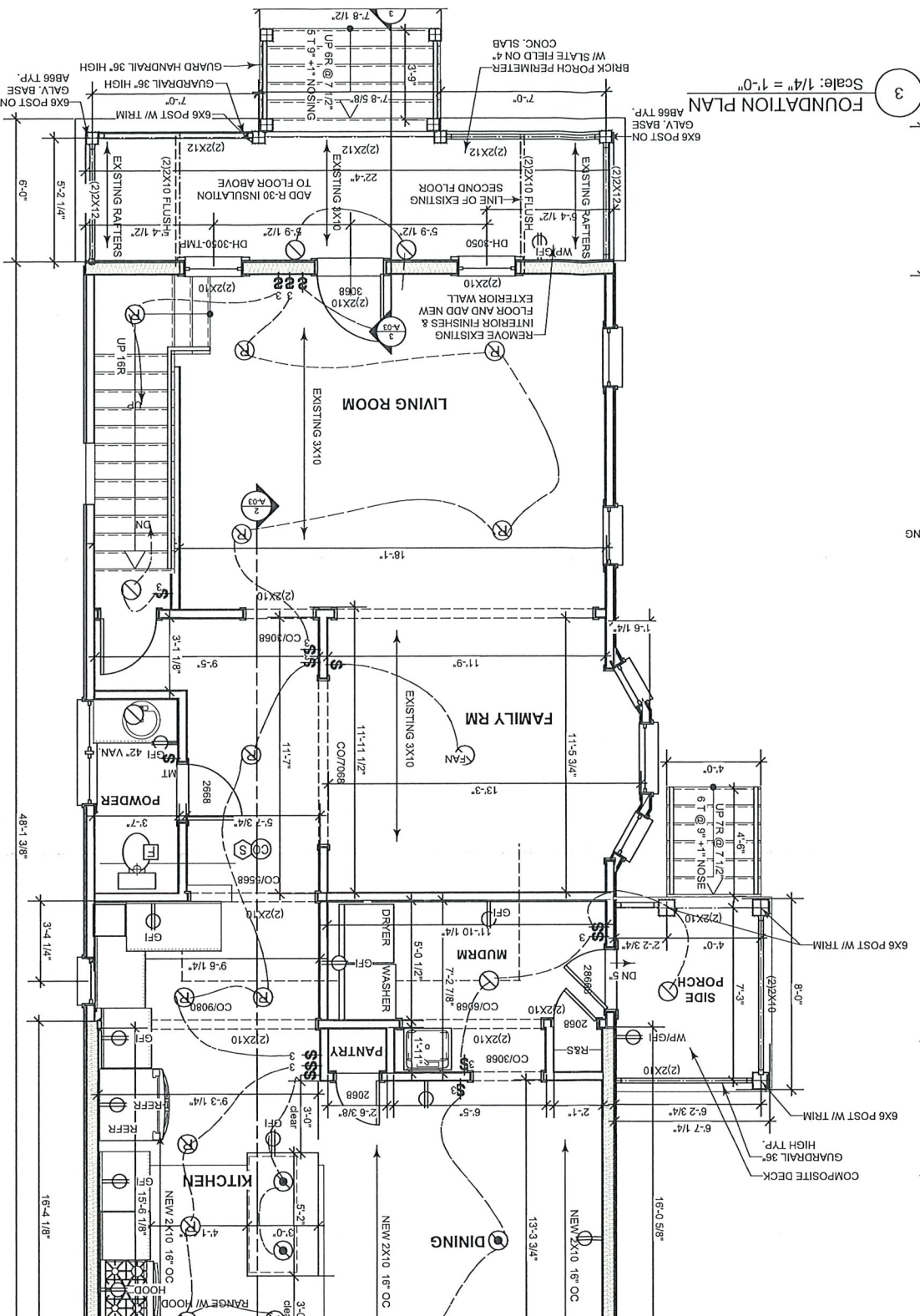
DISTRICT R-2 RESIDENTIAL
MIN LOT AREA: 12,000 SF
MIN WIDTH LOT: 60 FT
LOT COVERAGE: 30% max 3,000 sf
SETBACKS:
FRONT: 30 FT
SIDES 10 FT MIN 25FT AGG
REAR: 50 FT
HEIGHT: 35 FT

BUILDING CODE:
NEW JERSEY UCC / NJ-IRC 2021
NJAC 5:23-6 REHABILITATION SUBCODE
USE GROUP : R-5
CONSTRUCTION TYPE: VB
SUNROOM CATEGORY IV
MAX. NO. STORIES: 2
RFSCHOCK ENERGY 4A ZONE



3

Scale: 1/4" = 1'-0"



2

Scale: 1/4" = 1'-0"

PLAN LEGEND

	NEW WALL
	EXISTING WALL
	EXTERIOR FRAME WALL

- NOTE: LUMINAIRE AND FIXTURES SHALL BE DESIGNED FOR LOCATION
- RECESSED LUMINAIRE
 - PENDANT LUMINAIRE
 - WALL LUMINAIRE
 - CEILING LUMINAIRE
 - FLOOR LAMP
 - GARBAGE DISPOSAL
- NOTE: LUMINAIRE AND FIXTURES SHALL BE DESIGNED FOR LOCATION
- RECEPTILES TO BE TAMPER RESISTANT. VERIFY THAT SMOKE DETECTORS THROUGH OUT BEDROOMS EXIST, ADD ONE PER BEDROOM WITH BATTERY BACKUP IF NON EXISTANT IN EXISTING CONDITIONS HARD WIRED AT NEW CONSTRUCTION AND MIN. ONE PER FLOOR WITH CO DETECTOR WHERE FUEL BURNING APPLIANCES PRESENT

5 of	A-02	NOTED	Scale	Project Title	Design	Date	Drawn By	Checked By	No.	Date
				KUZNIAR RESIDENCE 104 NINTH AVE HADDON HEIGHTS, NJ 08035 KITCHEN/BEDROOM ADDITION FIRST FLOOR PLAN	 David J. Barici, RA 732 Cottage Rd. Glenside, PA 19038 phone: 215.833.4375 fax: 888.335.8041 dbaric@dcj.com www.dbaric.com	8/31/2023	DJB	DJB		