

Borough of Haddon Heights

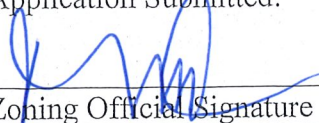
514 W. Atlantic Avenue
 Haddon Heights, NJ 08035
 (856) 546-2580

Case No. 23-12-1P

PLANNING BOARD APPLICATION

File: Michael F. Kuzniar
 Applicants Name

Date Application Received: 10/18/23

Application Submitted:	
	<u>10/18/23</u>
Zoning Official Signature	Date

Disposition:

- Approved
- Approved with Conditions
- Disapproved

Date of Public Hearing: _____
 Time Required for Action: _____
 Extension of Time Granted: _____
 Fee Collected: _____ Date Collected: _____
 Date Decision Published: _____

(DO NOT WRITE ABOVE THIS LINE)

I. Pursuant to the Borough of Haddon Heights Municipal Code & applicable New Jersey State Law, application is made to the Borough of Haddon Heights for the following:

<u>Check Application(s) Requested</u>	<u>Type of Application</u>	<u>Fee \$</u>	<u>Check Application(s) Requested</u>	<u>Type of Application</u>	<u>Fee \$</u>
{ }	Appeal of Admin. Decision	_____	{ }	Preliminary/Major Subdivision	_____
{ }	Interpretation	_____	{ }	Final Major Subdivision	_____
<input checked="" type="checkbox"/>	Bulk Variance	\$10.00 \$100.00 \$875.00	{ }	Preliminary Site Plan	_____
{ }	Use Variance	_____	{ }	Final Site Plan	_____
{ }	Conditional Use	_____	{ }	Minor Site Plan	_____
{ }	Minor Subdivision	_____	{ }	Concept Plan	_____
				Total Fee	_____

II. Application Form No. 1 was filled out on October 11, 2023 by [Signature]
(Applicants Signature)

III. Check Forms No. 3 through 19 for your appropriate application forms.

IV. A "complete application" requires the following submissions; please check items submitted with this form:

- { } Copies of this application
- { } Plot Plans
- { } Copies of 200 foot radius map
- { } Copy of "authorized" application form if applicant is not the property owner NOT NEEDED
- { } List of property owners within 200 feet of the property
- { } List of owner's notice and newspaper notice RECEIPTS
- { } List other required submissions, e.g. payment of taxes, payment of fees, etc.

V. Full legal name of Applicant: Michael F. Kuzniar

Mailing Address: 104 9th Ave

Town: Haddon Heights State: NJ Zip: 08035 Phone: 609-304-4245

Applicant interest in property (owner), tenant, lessee, purchaser under contract, other: _____

Applicant is a: { } Corporation ; { } Partnership ; { } Individual(s) ; { } Other (specify) _____

If the applicant is a corporation or a partnership, please attach a list of the names and addresses of persons have a 10% interest or more in the corporation or partnership (Form No. 11).

If the applicant is not the owner of the property in question, the applicant must obtain and submit a copy of this application signed by the owner.

The applicant must also submit a list of witnesses and others working on behalf of the applicant to include the attorney, engineer, architect, planner, and others, identifying their mailing address, City, State, zip code, and telephone number.

Street Address of Property: 104 9th Ave. Tax Map Sheet: _____

Block: 45 Lot(s): 3 Date filed with County Recorder: _____

Situated on the side of 9th Ave Street/Avenue distant 121' feet in a north east direction from the corner of the south west side of Green St. Street/Avenue.

Is the property served by public sewer system? { } Yes { } No; Public Water System { } Yes { } No

Is the applicant willing to dedicate land for the widening of roads in compliance with the Borough or County Master Plan? { } Yes { } No N/A

Is the proposed use located on a { } Municipal { } County or { } State road?

Area of property: 0.229± acres or 10,000 square feet. Frontage on an improved Street 50' feet. The dimensions of the property are: 50' wide x 200' deep
Number of Proposed lots: 1 Present Zoning of Property: residential
Present Use of Property: residential home
Proposed Use of Property: residential home
Describe proposed machinery, operation and products, if applicable: N/A

Description of all present structures: residential home + detached garage

Name, Profession, and License No. of Person Preparing Plat: N/A

Does this constitute a: { } New Application { } Expansion {x} Alteration

Size of proposed buildings: 30' 5 1/2" height in feet, 2 height in stories

Number of proposed buildings 1 Floor area of all structures: 1779 square feet

Use of existing buildings and premises: PRIMARY RESIDENCE

Percentage of coverage by all buildings: 20.2% By total impervious coverage: 35.1%

Estimated costs: Proposed Buildings \$ 200,000 Proposed Site Work \$ 0

Has a building permit been refused? { } Yes {x} No Date: _____

Has a subdivision previously been granted? { } Yes {x} No Date: _____

Has a use variance previously been granted? { } Yes {x} No Date: _____

Has a bulk variance previously been granted? { } Yes {x} No Date: _____

Has a site plan previously been granted? { } Yes {x} No Date: _____

Parking spaces required: N/A and provided: ≈ 7

Are there any existing or proposed covenants or deed restrictions on the property? { } Yes {x} No

If yes, please explain: _____

Is a variance requested? Yes { } No If yes, describe in detail the section of the Land Development Ordinance from which the applicant seeks relief: 450-28-B+D

B.) I wish to build an addition to my home that will exceed the 30% max. coverage. My proposed plan would bring my lot to 35.1% (proposed coverage calculation attached)

D.) Side yard 10' min: My current home that is 100+ years old has a 6'4" side yard. I wish to keep consistent with that on addition wall - Not add on side or go wider.

If this application has arisen as the result of a denial of a zoning permit, please secure from the Zoning Enforcement Officer a letter giving reasons for denying the zoning permit and submit it with this application.

Have there been any previous Planning Board hearings involving this property? { } Yes No
If the answer is yes, please attach a copy of the written decision(s) adopted by the applicable board.

Attach a brief statement entitled "Proposal" setting forth the particulars of the proposed use of the property (if other than single family residential) and a description of the proposed physical changes to the property. (Include all physical improvements, such as structures, additions, landscaping, etc.)

Applicant is responsible to publish and serve notice of this application in accordance with the Borough's Land Development Ordinance; however, notice may not be affected until this application is certified by a notary.

VI. Attach a list of all plans, calculations, data and other exhibits submitted, by title and date, indicating names, addresses, license number, and phone number(s) of preparer.

VII. I - hereby certify that the above statements, information, and exhibits herewith submitted are true and correct to the best of my knowledge and that I am to file this application and act on behalf of the signatories of the above authorization. I further authorize Borough officials to inspect the site noted above.

[Signature]
(Signature of Owner)

10/11/2023
(Date)

[Signature]
(Signature of Applicant)

Owner
(Title)

Sworn to & subscribed before me this 11 day of October, 2023.

Person to be contacted regarding matters Pertaining to this application, if other than myself:

[Signature]
(NOTARY)

Name myself

Donna M Bowker
NOTARY PUBLIC
State of New Jersey
ID # 2416760
My Commission Expires 2/2/2027

Phone Number: 609-304-4245

Borough of Haddon Heights

Case No. _____

514 W. Atlantic Avenue
Haddon Heights, NJ 08035
(856) 546-2580

PUBLIC NOTICE
(Newspaper)

Take notice that Michael F. Kuzniar has applied to the Planning Board of the Borough of Haddon
Name of Applicant

Heights for approval of a Bulk Variance for Addition/remodel
Type of Application Briefly Describe Application

Addition + cosmetic changes to existing residential home
Code 450-28B, 450-28D, and any other variances required

at premises located on Block 45 Lot 3, at 104 9th Ave
Address

A hearing on said application will be held by the Planning Board on 12/14/23 @ 7pm,
20 23, at the regularly scheduled meeting place of the Planning Board, at which time any interested person may
be heard concerning said application, or you may appear either in person or by attorney to present any comments or
objections concerning the application.

All documents relating to this application may be inspected by the public and are on file in the Service Operations
Facility in the office of the Secretary of the Planning Board located at 514 W. Atlantic Avenue Haddon Heights, NJ
08035. The documents may be inspected between the hours of 8:00am and 12:00pm Monday – Friday, at least ten
(10) days before the date of the hearing.

514 W. Atlantic Avenue
Haddon Heights, NJ 08035
(856) 546-2580



NOTICE OF HEARING TO CLERK OF ADJACENT MUNICIPALITY

To: Municipal Clerk _____ of _____ NJ

PLEASE TAKE NOTICE:

That Michael Kuzniar, the undersigned, has appealed to the Planning Board of the Borough of Haddon Heights for relief from Code 450-28B + Code 450-280

to permit addition deck

at _____ Block 45, Lot 3, _____

of _____ which property is within two hundred (200) feet of your municipality.

A hearing in this matter will be held on December 14, 2023, at the Municipal

Building at 625 Station Avenue, Haddon Heights, NJ 08035. The applicant is seeking a Hardship,

Use Variance, Subdivision, Site Plan, Conditional Use Approval. This notice is given

Pursuant to the provisions of N.J.S.A. 40:55D-12d.

Signature of Applicant

Date

NOTE: This notice must be personally served or sent by certified mail at least ten (10) days before the day of the hearing, and proof of service given to the Secretary of the Haddon Heights Planning Board at least two (2) days before the day of the hearing.

514 W. Atlantic Avenue
Haddon Heights, NJ 08035
(856) 546-2580

NOTICE OF HEARING TO PROPERTY OWNERS
(Cross out inapplicable sections)

TO WHOM IT MAY CONCERN:

In compliance with Section 450-149 of the Land Development Ordinance of the Borough of Haddon Heights, NJ, notice is hereby served upon you to the effect that (I) (We) Michael F. Kuznia
Do hereby propose to (give detailed information) Addition/remodel to existing residential home code 450-28B, 450-28D

Location 104 9th Avenue

The Zoning Enforcement Officer of the Borough of Haddon Heights, New Jersey refused this request by Reason of its being in violation of Section 450-28 B+D of the Land Development Ordinance, from which decision (I) (We) hereby appeal. (I) (We) have applied to the Planning Board for a: Hardship, Use Variance, Subdivision, Site Plan, Conditional Use Approval. Any person or persons Affected by this (appeal) (application) may have an opportunity to be heard at the meeting to be held on December 14, 2023, at 7 P.M. in the Municipal Building, 625 Station Ave, Haddon Heights, New Jersey 08035.


Signature of Applicant

10/11/2023
Date

NOTE: This notice must be personally served or sent by certified or registered mail at least ten (10) days before the day of the hearing, and proof of service to the Secretary of the Haddon heights Planning Board at least two (2) days before the day of the hearing.

514 W. Atlantic Avenue
Haddon Heights, NJ 08035
(856) 546-2580

N/A

NOTICE OF HEARING TO COUNTY PLANNING BOARD

To: County Planning Board, Lindenwold, New Jersey 08021

PLEASE TAKE NOTICE:

That Michael F. Kurwiar, the undersigned, has applied to the Haddon Heights Planning Board for addition of deck code 450 28 B, 450-28D

to permit and any other variances required at premises

at _____
Block 45, Lot 3, 104 Ninth Avenue

of Ninth Avenue which property front upon a county road, or adjoins county-owned property, or is within two hundred (200) feet of a municipal boundary. A hearing in the matter will be held on

_____, 20 23 at the Municipal Building at 625 Station Avenue, Haddon Heights, NJ

08035. The applicant is seeking a Hardship, { } Use Variance, { } Subdivision, { } Site Plan, { } Conditional Use Approval. This notice is given pursuant to the provisions of N.J.S.A. 40:55D-12e.

Signature of Applicant

Date

NOTE: This notice must be personally served or sent by certified mail at least ten (10) days before the day of the hearing, and proof of service given to the Secretary of the Haddon Heights Planning Board at least two (2) days before the day of the hearing.

Borough of Haddon Heights

Case No. _____

514 W. Atlantic Avenue
Haddon Heights, NJ 08035
(856) 546-2580

Planning Board
Use & Bulk Variance Application Checklist

Applicant: Michael F. Kuznier Phone: 609 304 4245

Address: 104 9th Ave Site Location: 104 9th Ave


Signature of Applicant: [Signature] Date: _____

- { } Application form and plans for completeness review (3 copies).
- { } Application form (16 copies).
- { } Plat of plans (16 copies) signed and sealed by a N.J.P.L.S. or N.J.P.E., as required, and folded into eighths with title block revealed.
- { } Scale of not less than 1" = 30' on one of the following standard sheet sizes:
(8 1/2' x 13"; 15" x 21"; 24" x 36" or 30" x 42")
- { } Key map no less than 1" = 30'.
- { } Title block:
Name of subdivision or development, Borough of Haddon Heights, Camden County;
Name, title, address and telephone number of sub divider or developer;
Name, title, address and license number of the professional(s) who prepared the plot or plan;
Name, title, and address of the owner(s) of record;
Scale; and,
Date of original preparation and of each subsequent revision thereof and a list of specific revisions entered on each sheet.
- { } Acreage figures (both with and without areas within public rights-of-way), to the nearest tenth of an acre.
- { } North arrow.
- { } Approval signature lines.
- { } Existing block and lot number(s) of the lot(s) to be subdivided or developed as they appear on the Borough Tax Map.
- { } Subdivision or redevelopment boundary line (heavy solid line).

- { } The location of existing and proposed property lines (with bearings & distances), streets, structures (with their numerical dimensions and an indication as to whether existing structures will be retained or removed), parking spaces, loading areas, driveways, watercourses, railroads, bridges, culverts, drain pipes, any natural features such as wetlands and treed areas, both within the tract and within two hundred (200') of its boundary.
- { } Owner certification.
- { } The location and width of all existing and proposed utility easements, the use(s) for which they are intended to be limited, and the manner in which the easements will be controlled.
- { } Zoning districts affecting the tract, including district names and requirements.
- { } All adopted master plan proposals affecting the proposed development.
- { } Proposed buffer and landscaped areas.
- { } Delineation of wetlands and wetland buffers.
- { } Contours as shown on the U.S.G.S topographic sheets.
- { } Marshes, ponds and land subject to flooding within the tract and within one hundred feet (100') thereof.
- { } The names of all adjacent property owners as they appear on the most recent tax list prepared by the Board Secretary.
- { } Certification from the Borough Tax Collector that all taxes and assessments are paid to date.
- { } Concerning minor subdivisions only, existing and proposed monuments.
- { } Road right-of-way dedication and improvements, as applicable.
- { } Sight triangle easements, as applicable.
- { } Deed descriptions, including metes and bounds, easements, covenants, restrictions,, and roadway and sight triangle dedications.
- { } Photographs of site and neighboring properties.

Key: (X) Complete (W) Request Waiver (N/A) Non Applicable

The Planning Board may waive submission of any required exhibits in appropriate cases and for specific reasons. Requests for such waivers shall accompany a variance application, stating the reasons that such a waiver is being requested. The Planning Board reserves the right to acquire additional information before granting variance approval when unique circumstances affect the tract and/or when the application for development poses special problems for the tract and the surrounding area. Such information may include, but not limited to, drainage calculations and traffic analyses, provided, however, that no application shall be declared incomplete for lack of such additional information.


 Signature & Title of person who completed checklist

Date

10/11/23

514 W. Atlantic Avenue
Haddon Heights, NJ 08035
(856) 546-2580

Borough of Haddon Heights

Case No. 23-12-1P

PLANNING BOARD
APPLICATION FOR BULK VARIANCE
(See N.J.S.A. 40:55D-70c and Land Development Ordinance)

1. Application is hereby made on 10/18, 2023, for a variance from the strict application of the following provisions of the Land Development Ordinance (check applicable boxes & specify parts of Ordinance involved):

- | | |
|--|---|
| <input type="checkbox"/> Lot area – Section _____ | <input checked="" type="checkbox"/> Side yard setback – Section <u>10' min, 25' max</u> |
| <input type="checkbox"/> Lot width – Section _____ | <input type="checkbox"/> Rear yard setback – Section _____ |
| <input checked="" type="checkbox"/> Building coverage – Section <u>20.2%</u> | <input type="checkbox"/> Building height – Section _____ |
| <input checked="" type="checkbox"/> Lot coverage – Section <u>35.1%</u> | <input type="checkbox"/> Other – Section _____ |
| <input type="checkbox"/> Front yard setback – Section _____ | |

2. The applicant requests a variance to the following extent (set forth specific variances requested): _____

- ① To exceed the max ground coverage by 5.1%
- ② Build addition of back of existing home that is currently less than the 10' min side set back (6'4")

3. The strict application of said provisions would result in (complete one or both of the following in detail):

A. The following peculiar and exceptional practical difficulties: Addition is to make the home more livable for a growing family of 4.

B. The following exceptional and undue hardship: Family out growing home.

4. Said difficulties or hardship are by reason of: Family out growing current house. We want to stay in Haddon Heights

5. Said reasons are unique and peculiar to the lands or building for which the variance is sought and do not apply generally to lands or buildings in the neighborhood because: _____

We love our street and neighbors. We want to make it our forever home.

6. The requested variance is the minimum reasonably needed because: These minor alterations are needed to make 104 9th Ave our forever home.

7. The following purpose(s) of the Municipal Land Use Law would be advanced by a deviation from the zoning requirements; the benefits of the proposed deviation would substantially outweigh any detriment because: It would keep a family that is involved with, and contributes to the town in Haddon Heights. We take care of our home and landscaping and take pride in how it looks. This application getting denied will likely result in us selling the home.

8. The variance requested will not result in substantial detriment to the public good because: _____
Zero effect will be made to the public. No grading issues exist on lot and no issues will be created. Any drainage concern will be remediated if created.

9. The variance will not substantially impair the intent and purpose of the Land Development Ordinance and Master Plan because: _____

Residential home. Intent + purpose does not change. Minor changes that are mostly cosmetic and functional.

Borough of Haddon Heights

Case No. _____

514 W. Atlantic Avenue
Haddon Heights, NJ 08035
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Planning Board
Affidavit of Ownership

STATE OF NEW JERSEY

ss.

COUNTY OF CAMDEN

Michael F. Kuzniar, of full age, being duly sworn according to law on oath

deposes and says that the deponent resides at 104 9th Ave in the

Township of Haddon Heights in the County of Camden

And the state of New Jersey; that Michael F. Kuzniar is the

owner in fee of all that certain lot, piece or parcel of land situated, lying and being in the Borough of Haddon Heights, New Jersey, and known and designated as Block 45, Lot 3.

Sworn to and subscribed before me this

11 day of October, 2023.

Notary

Donna M Bowker
NOTARY PUBLIC
State of New Jersey
ID # 2418760
My Commission Expires 2/2/2027

AUTHORIZATION

(If anyone other than above owner is making this application, the following authorization must be executed.)

To the Planning Board:

Michael F. Kuzniar is hereby authorized to make the within application.

[Signature]
Signature of Applicant

10/11/2023
Date

Take notice that Michael F. Kuzniar has applied to the Planning Board of the Borough of Haddon Heights for approval of a bulk variance for an addition to house, 10 x 12 deck and added foundation for addition; code 450-28B and 450-28D, and any other variances required at the premises located on Block 45 Lot 3 at 104 Ninth Avenue.

A hearing on said application will be held by the Planning Board on December ~~14~~²¹, 2023 at 7pm at the regularly scheduled meeting place of the Planning Board, at which time any interested person may be heard concerning said application, or you may appear either in person or by attorney to present any comments or objections concerning the application.

The meeting will be held at Haddon Heights Borough Hall located at 625 Station Avenue, first floor, Haddon Heights, NJ at 7:00pm. All documents relating to this application may be inspected by the public and are on file in the Service Operations Facility in the office of the Secretary of the Planning Board located at 514 W. Atlantic Avenue Haddon Heights, NJ 08035. The documents may be inspected between the hours of 8:00am and 12:00pm Monday through Friday, at least ten (10) days before the date of the hearing.

AGREEMENT TO PAY FOR PROFESSIONAL REVIEW

Date: 10/11/2023

Applicants Address: 104 9th Ave Block: 45 Lot: 3.

Michael F. Kozniar, agrees to pay for any professional review necessary for
(Name of Developer)

the above construction.


(Signature)

Owner
(Title)

Enclosures

Zoning Application Denial

Proposal Letter

Survey

Proposed Impervious Coverage Calculation

Maps

Photos

Construction Plans

Permit 2023-109

BOROUGH OF HADDON HEIGHTS

Office of Planning and Construction

514 W. Atlantic Ave, Haddon Heights, NJ 08035

Phone: 856-546-2580

www.haddonheights.com

email: zoning@haddonheights.com

APPLICATION FOR ZONING/LAND USE

Block: 45 Lot: 3 Zoning Classification: R-2 interior

Address: 104 9th Ave.

Owner: Michael F. Kuzniar Phone: 609-304-4245

Owner address 104 9th Ave Email mfkuzniar11@gmail

Contractor Michael F. Kuzniar Phone 609-304-4245

Proposed construction or use: Addition to existing dwelling. 10x21 deck & added foundation for additions

Setbacks for the proposed construction:

Front 21.6 feet Rear 113.4 feet Right Side 6.4 feet Left Side 2118 feet

Percentage of ground coverage: > 30% Height: 30' 5.5"

Frontage of Lot 50' lineal ft. Corner Lot NA sq. ft. Inside Lot 10,000 sq. ft.

A survey or plot plan must be submitted with application showing all existing buildings, sheds, pools, driveways, etc. along with the proposed construction. There is a \$25 fee for the zoning application and review from the Zoning Officer.

Applicants Signature [Signature]

Date 9-13-23

DO NOT WRITE BELOW THIS LINE

() This application has been examined and found to be in compliance with the Zoning Ordinance for the Borough of Haddon Heights.

() Permits/Approvals are required: U.C.C. () Municipal () Historic () P.B. ()

() Other

() This application has been rejected because of non-compliance with the Zoning Ordinance for the Borough of Haddon Heights

45 yards 450 28 D

Rejected applications can be revised to comply with the Zoning Ordinance or you may apply to the Planning Board for relief by contacting the Zoning Official.

Dave Taraschi, Zoning Official

Date 9/15/23

450-28 B

- (2) The exterior of any structure shall be in keeping with the other structures in the immediate neighborhood.

§ 450-28. Area and bulk regulations.

- A. Lot area and width. A lot area of not less than 12,000 square feet shall be provided for every single detached one-family dwelling hereafter erected. Each lot on which a single detached one-family dwelling is or shall be erected shall have a width of not less than 60 feet at the building line.
- B.** Lot coverage. The maximum lot coverage, including all structures, shall not be greater than 30% of the gross lot area. [Amended 11-5-2003 by Ord. No. 1157]
- C. Front yard. A front yard shall be provided. The front setback shall be not less than those setbacks established by the buildings on either side of the lot in question, whichever of those is the greater, and in any event not less than 30 feet. In the case of a corner lot or any other lot abutting two streets, for purposes of determining setback, each yard abutting a street shall be considered a front yard.
- D.** Side yards. Each dwelling shall have a yard on each side, which shall be not less than 25 feet wide in the aggregate and neither of which shall be less than 10 feet wide. No dwelling or accessory building shall obstruct access to the rear yard by an automobile.
- E. Rear yard. There shall be a rear yard of not less than 50 feet, measured from the rearmost portion of the main building to the rear property line, including all decks, patios and additions attached to the main building. [Amended 9-1-2009 by Ord. No. 1313]
- F. Outbuildings. Outbuildings shall not be considered in connection with the rear yard. They shall be constructed so as to not protrude into the front yard and shall not be constructed closer than five feet to any property line.
- G. Height. A dwelling shall not have a greater height than 2 1/2 stories or 35 feet, measured from the average grade line perimetering the building to the top of the main roof cornice line, excluding necessary utility-type roof structures.

October 11, 2023

Borough of Haddon Heights

Planning Board

514 W. Atlantic Avenue, NJ 08055

Subject: Proposal

To whom it may concern:

My wife and I purchased 104 9th Avenue in 2011 as a starter home for us when we were engaged to be married. In the last 12 years we have made the house our home with our two children (Johnny 10, and Mila 8). During this time, we completely fell in love with Haddon Heights. We love our street, our neighbors, our children's school, and the community we have become a big part of. Our plan when purchasing this starter home was always to sell and purchase a larger home in Haddon Heights when we started to outgrow it. My family is now at that stage. We have been looking for our "forever home" for over 2 years. Due to the current housing inventory shortage, we could not find anything that felt right to us while also realizing how important 104 9th Ave was to us. After a lot of consideration, we made the decision that we want 104 9th Avenue to be our forever home. This home and this town have become a large part of who we are and we can't imagine our family living anywhere else! For us to stay and live comfortably, the modifications laid out in my zoning application and forthcoming building permit application are needed.

Due to the size of our home and our lot, it is missing the necessary room for our desired number of bathrooms and some missing wish list items (i.e., front porch, larger kitchen for entertaining, etc.). Attached is a proposed survey showing what we want to add; an impervious coverage calculation including all structures and driveway; copy of construction drawings for proposed addition; and our zoning application that was declined with the applicable codes for reason of failure. We feel it is also very important to note that much of what we want to do, especially to the exterior of the house is to preserve the historical appearance of the home. When it was first built, the home had a front porch which was later enclosed by the previous owner. We want to bring that look back to its original charm while adding some interior upgrades and entertaining space off the back. We hope you can appreciate our aspirations and consider this proposal.

Thank you for your time and consideration.

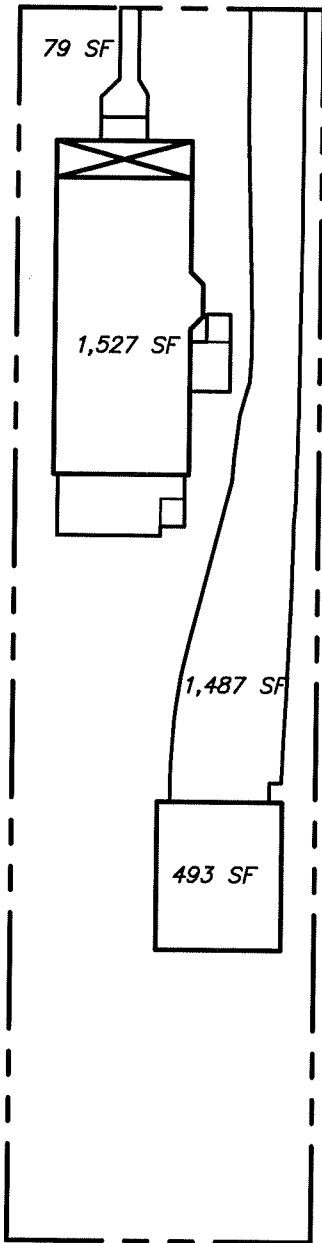


Michael F. Kuzniar

104 9th Avenue

Haddon Heights, NJ 08035

609-304-4245



1,527± SF HOUSE, DECK, POR
 1487± SF DRIVE
493± SF GARAGE
 3507± SF

10,000 SF LOT AREA

35.1%± COVERAGE

5.1% = 510 SF

79± SF FRONT WALK NOT INCLUDED. WILL THE
 TWP. ACCEPT THAT IT IS NOT IMPERVIOUS

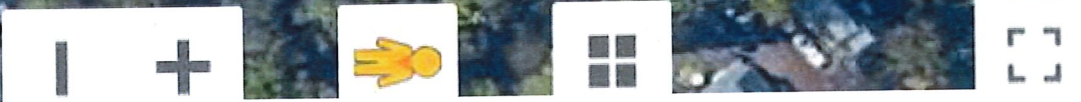
EXTERIOR FEATURES WERE SCALED FROM THE
 PDF PLOT PLAN/SURVEY AND ARE APPROXIMATE.



Map

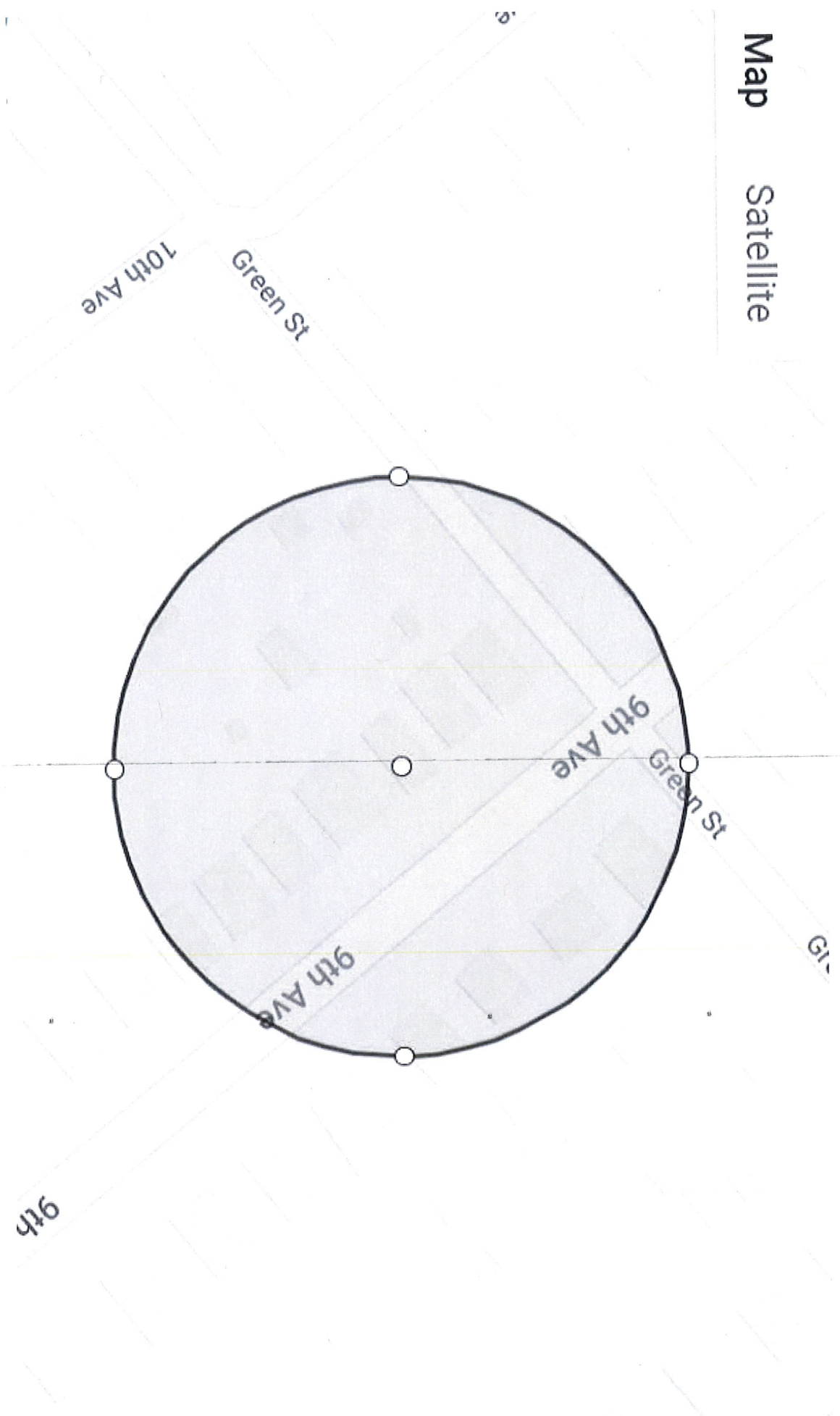
Satellite

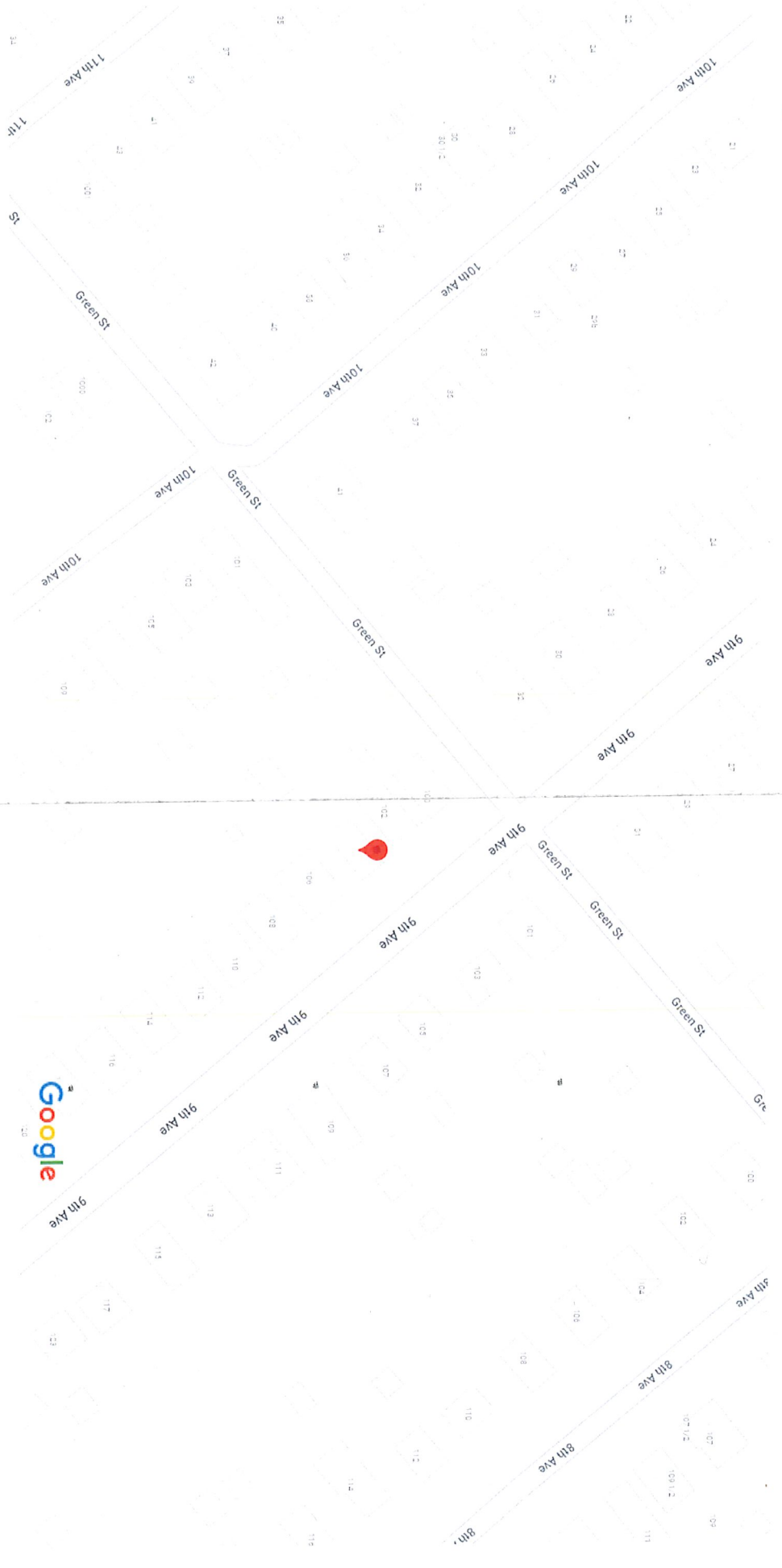
Labels



Map

Satellite





Map data ©2023 Google 50 ft



104 9th Ave

Building



Directions



Save



Nearby



Send to
phone



Share



104 9th Ave, Haddon Heights, NJ 08035

Photos



EXISTING



RENDERING OF Proposed

