

# PRELIMINARY/FINAL MAJOR SITE PLAN

## 501-503 STATION AVENUE

### BLOCK 25, LOTS 16 & 17.01

#### HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY

Plotlet: 2-14-24 09:51am By: mgm

#### PROPERTY OWNERS WITHIN 200 FEET OF SUBJECT PROPERTY

OWNER	BLOCK	LOT	OWNER	BLOCK	LOT
TO BE FURNISHED UPON RECEIPT					

#### PUBLIC UTILITIES

PUBLIC SERVICE ELECTRIC & GAS CO. MANAGER OR CORPORATE PROPERTIES 80 PARK PLAZA 24-8 NEWARK, NJ 07102	CAMDEN COUNTY MUNICIPAL UTILITIES AUTHORITY PO BOX 1432 CAMDEN, NJ 08101
COMCAST CABLE COMMUNICATIONS, INC. 1250 HADDONFIELD-BERLIN ROAD CHERRY HILL, NJ 08003	VERIZON - NEW JERSEY REAL ESTATE DEPARTMENT LAND USE MATTERS 650 PARK AVENUE EAST ORANGE, NJ 07017
NEW JERSEY AMERICAN WATER CO. 800 GROVE STREET HADDON HEIGHTS, NJ 08028	TRANSCONTINENTAL GAS PIPE LINE CO. 3200 SOUTH WOOD AVENUE LINDEN, NJ 07036
OR	OR
MERCHANTVILLE-PENNSAUKEN WATER COMMISSION 20 WEST MAPLE AVENUE MERCHANTVILLE, NJ 08109	COLONIAL PIPELINE CO. PO BOX 727 WOODBURY, NJ 08096

#### STANDARD SPECIFICATIONS:

THE LATEST NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION WITH ALL AMENDMENTS AND SUPPLEMENTS SHALL GOVERN ALL OF THE WORK PERFORMED UNDER THIS CONTRACT EXCEPT AS SUPPLEMENTED HEREIN.

#### UNDERGROUND UTILITY LOCATION:

LOCATIONS OF UTILITIES SHOWN ON THIS PLAN ARE NOT NECESSARILY COMPLETE. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES OPERATING WITHIN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION, SIZE, TYPE AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT ANY SITE DISTURBANCE ACTIVITIES, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. LOCATION OF UTILITIES SHALL INCLUDE CONTACT BY THE CONTRACTOR WITH THE APPLICABLE UNDERGROUND UTILITY LOCATION SERVICE, AS REQUIRED BY LAW. LOCATION OF UTILITIES SHALL INCLUDE CONTACT WITH THE NJ ONE-CALL SYSTEM (800-272-1000), AT LEAST 3 DAYS PRIOR TO COMMENCING WORK.

#### TRASH REMOVAL:

ALL TRASH WILL BE MAINTAINED INTERNALLY IN AND THE OWNER WILL CONTRACT FOR TRASH PICKUP. THERE WILL BE NO TRASH CANS STORED OUTSIDE THE BUILDING.

#### SITE SAFETY:

THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21 (e) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32 (f) (OSHA COMPETENT PERSON).

#### OTHER REQUIRED APPROVALS:

- CAMDEN COUNTY PLANNING BOARD: PENDING
- CAMDEN COUNTY SOIL CONSERVATION DISTRICT: PENDING
- NJDOT - HIGHWAY ACCESS PERMIT: PENDING

#### OFF-STREET PARKING

CRITERIA	REQUIRED NUMBER OF OFF STREET PARKING SPACES	REQUIRED	PROPOSED - ON SITE	PROPOSED - OFF SITE	CONFORMS
ALL REQUIRED PARKING FOR RESIDENTIAL USES MUST BE PROVIDED ONSITE, OR IN COMBINATION WITH DESIGNATED OFFSITE PARKING SPACES WITHIN 500 FEET OF THE PROPERTY BOUNDARY OF THE RESIDENTIAL BUILDING.					
i. 1- OR 2-BEDROOM UNITS: 1 PARKING SPACE PER UNIT. REQUIRED: 12 SPACES					
ii. 1 ADA PARKING SPACE REQUIRED ON SITE TO SERVE COMMERCIAL & RESIDENTIAL UNITS. REQUIRED: 1 SPACE					
<b>TOTAL REQUIRED OFF-STREET PARKING: 13 SPACES</b>					
REQUIRED	PROPOSED - ON SITE	PROPOSED - OFF SITE			
19 SPACES	5 STANDARD PARKING STALLS 1 ADA PARKING STALL (VAN-ACCESSIBLE) PROVIDED: 6 SPACES	7 SPACES (3)	Y		

(1) APPLICANT TO PROVIDE THE BOROUGH WITH A COPY OF THE AGREEMENT FOR USE OF OFF STREET PARKING SPACES.

#### GENERAL NOTES:

- THE PROPERTIES THAT ARE THE SUBJECT OF THIS REDEVELOPMENT PLAN ARE KNOWN AS LOTS 16 AND 17.01 IN BLOCK 25. THE COMBINED LOT AREAS CONTAIN 8481.84 SQ. FT., OR 0.195 ACRES, AND ARE LOCATED IN THE CB - CENTRAL BUSINESS DISTRICT ACCORDING TO THE OFFICIAL ZONING MAP OF THE BOROUGH OF HADDON HEIGHTS IN CAMDEN COUNTY, NEW JERSEY.
- OWNER/APPLICANT: BROKEN GROUND PROPERTIES LLC  
5 CIRCLE LANE  
CHERRY HILL, NJ 08003
- THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED MIXED USE DEVELOPMENT CONSISTING OF:
  - GROUND FLOOR SPACE WITH FRONTAGE ALONG STATION AVENUE AND WHITE HORSE PIKE, WITH PERMITTED USES CONSISTENT WITH THE HADDON HEIGHTS BOROUGH REDEVELOPMENT PLAN THAT WAS ADOPTED BY BOROUGH COUNCIL BY ORDINANCE NO. 2023-1537 ON NOVEMBER 8, 2023.
  - SECOND AND THIRD STORY RESIDENTIAL UNITS COMPRISING (6) 1-BEDROOM DWELLING UNITS AND (2) 2-BEDROOM DWELLING UNITS.
- INFORMATION TO PREPARE THESE PLANS OBTAINED FROM THE FOLLOWING SOURCES:
  - PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY" - BLOCK 25, LOTS 7, 16, 17.01 SHEET 1 OF 1, PREPARED BY STANTEC CONSULTING SERVICES INC., DATED 05.01.2023 AND SIGNED ON 05.16.2023.
  - SURVEY UPDATE PER STANTEC FIELD VISIT PERFORMED ON 12.28.2023.
  - BOROUGH OF HADDON HEIGHTS TAX MAP, PLATE 3.
- EXISTING USES:
  - 501 STATION AVENUE: 3 STORY MIXED USE BUILDING AND BOROUGH WELCOME SIGN.
  - 503 STATION AVENUE: 1 STORY BUILDING WITH 2 COMMERCIAL UNITS.
- EXISTING PUBLIC SANITARY SEWER AND DOMESTIC WATER UTILITIES SERVICE THE SITE.

#### ZONING DATA

##### 501-503 STATION AVE, BLOCK 25, LOTS 16 & 17.01

##### BOROUGH OF HADDON HEIGHTS, CAMDEN COUNTY, NJ

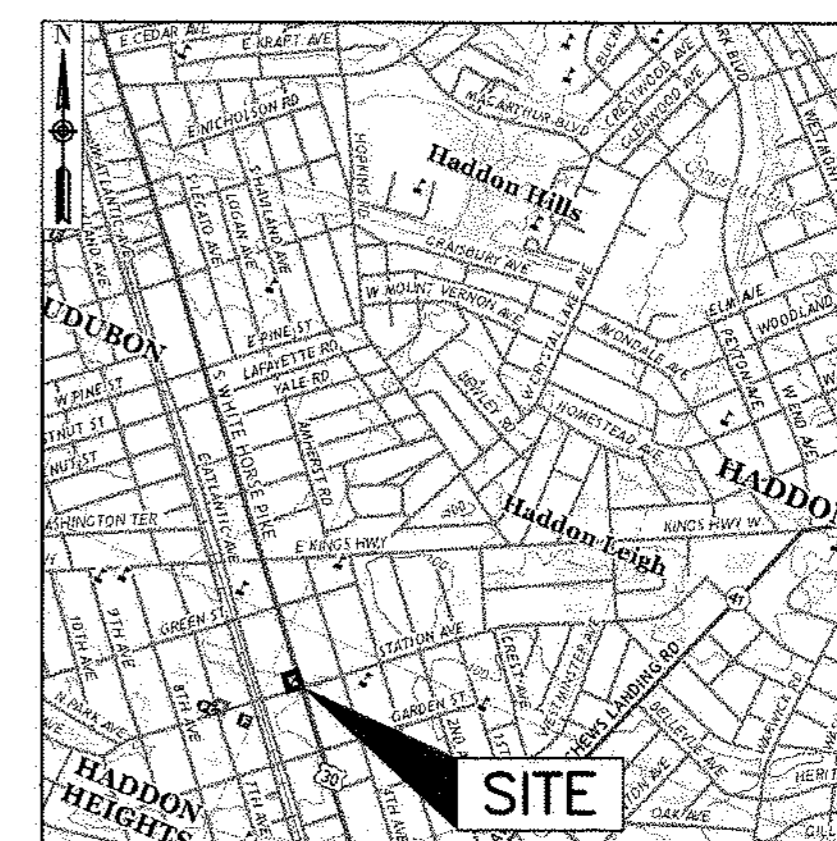
Standard	Requirement for current Zoning District (CB Zone)	Requirement for lots a minimum of 8,000 sf	Proposed for this Application
Minimum lot size	2,500 square feet	8,000 square feet	8736.9 square feet
Minimum lot width	25 feet	80 feet	87.5 feet
Minimum street frontage	N/A	80 feet each street	87.5 feet to Station Ave. 100 feet to White Horse Pike
Minimum lot depth	100 feet	100 feet	100 feet
Minimum front yard building setback from property line	10 feet	0 feet to Station Ave 5 feet to White Horse Pike within 100 feet of Station Ave 20 feet to White Horse Pike beyond 100 feet from Station Ave	0 feet to Station Ave 5 feet to White Horse Pike
Maximum front yard building setback from property line	N/A	10 feet to Station Ave 25 feet to White Horse Pike	0 feet to Station Ave 5 feet to White Horse Pike
Minimum front yard setback distance from building to curb	N/A	12 feet Station Ave 19 feet to White Horse Pike within 100 feet of Station Avenue 34 feet to White Horse Pike beyond 100 feet from Station Avenue	12.5 feet to Station Ave 19.2 feet to White Horse Pike
Minimum side yard setback for principal building	0 feet	0 feet on Station Ave 0 feet one side/15 feet aggregate on White Horse Pike	0 feet on Station Ave 0 feet one side/19 feet aggregate on White Horse Pike
Minimum rear yard setback for principal building	20 feet	15 feet	20 feet
Minimum distance between buildings	N/A	0 feet side to side 25 feet side to rear	0 feet side to side 70 feet side to rear
Minimum parking setback	N/A	2 feet from side and rear yard Surface parking is not permitted in front of buildings	2 feet from side and 3 feet from rear yard. No surface parking proposed in front of buildings
Minimum driveway setback from property line	N/A	2 feet from side and rear yard	2 feet from side and 3 feet from rear yard
Maximum impervious cover	80%	90% Ground level, or 95% ground level with total 85% including green roof	94.4% ground level with total 66.7% including green roof
Maximum building height	3 stories or 36 feet	3 stories or 36 feet with allowance for an additional 42" for parapets 46 feet for pilot house (with an additional 5' allowance for the elevator hoistway to address entrapment requirements)	36 feet to Roof Deck; 45 ft. incl. Pilot House

#### BUILDING INFORMATION

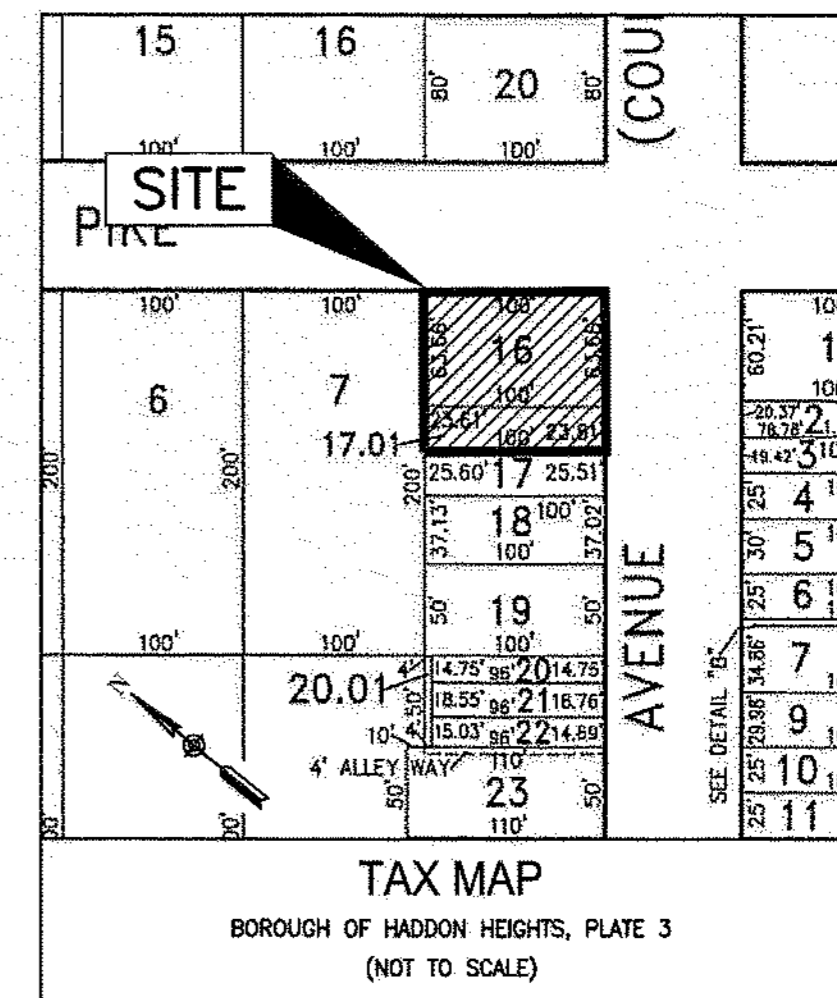
TOTAL BUILDING AREAS	
FIRST FLOOR	3,894 GSF
SECOND FLOOR	6,480 GSF
THIRD FLOOR	6,480 GSF
<b>BUILDING TOTAL</b>	<b>16,854 GSF</b>
<b>GENERAL</b>	
BUILDING HEIGHT (T.O. ROOF)	35'-0"
LOT AREA	8,766 GSF
BUILDING COVERAGE	6,812 SF (78%)
SITE GREEN AREA + GREEN ROOF	478 SF+2344 SF =2822 SF (33%)

#### DRAWING INDEX

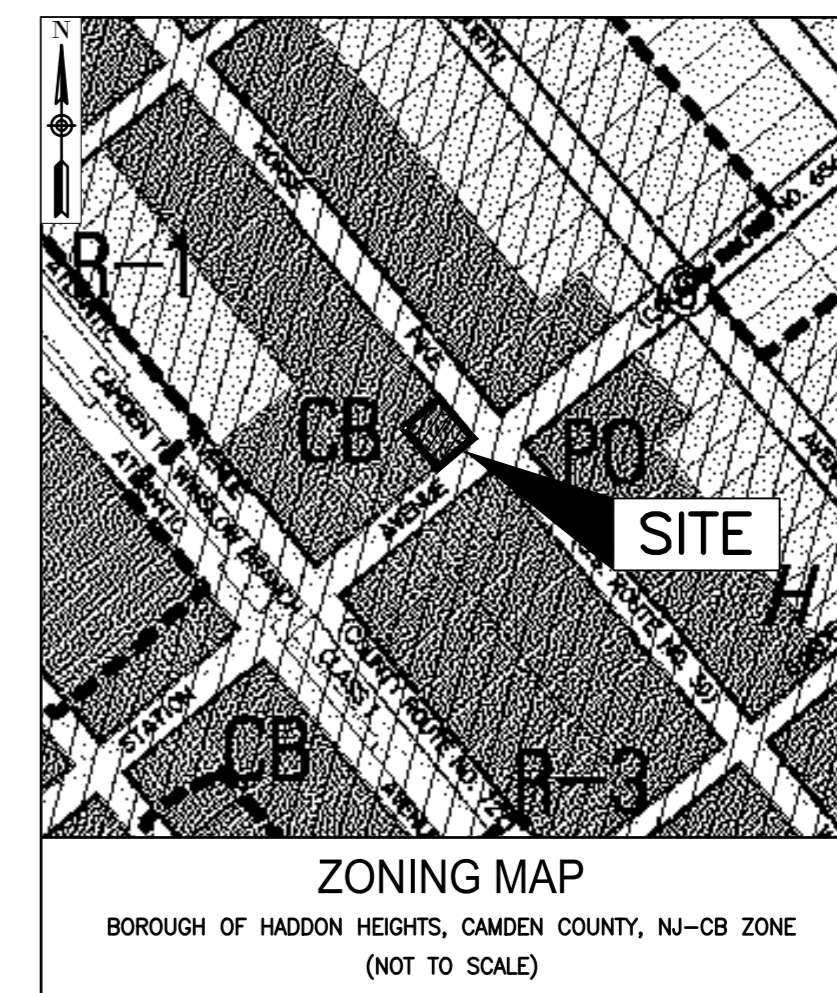
SHEET TITLE	NO.	SHEET
GENERAL INFORMATION PLAN	G-001	1
SITE DEMOLITION PLAN	C-101.1	2
SITE PLAN	C-102	3
GRADING PLAN	C-103	4
UTILITY PLAN	C-104	5
SOIL EROSION & SEDIMENT CONTROL PLAN	C-105	6
SOIL EROSION & SEDIMENT CONTROL NOTES	C-105.1	7
SOIL EROSION & SEDIMENT CONTROL DETAILS	C-105.2	8
ACCESS PERMIT SITE PLAN	C-102.1	9
DETAIL SHEET	C-501	10
DETAIL SHEET 2	C-502	11
DETAIL SHEET 3	C-503	12
LANDSCAPE & SITE LIGHTING PLAN	L-101	13
LANDSCAPE DETAILS	L-501	14



**SITE LOCATION MAP**  
U.S.G.S. CAMDEN COUNTY, N.J. CAMDEN QUAD  
SCALE: 1" = 2,000'



**TAX MAP**  
BOROUGH OF HADDON HEIGHTS, PLATE 3  
(NOT TO SCALE)



**ZONING MAP**  
BOROUGH OF HADDON HEIGHTS, CAMDEN COUNTY, NJ-CB ZONE  
(NOT TO SCALE)

I HEREBY STATE THAT I AM THE OWNER/APPLICANT OF LANDS SHOWN HEREDIN.

OWNER	DATE:
THIS PLAN IS HEREBY APPROVED BY THE HADDON HEIGHTS BOROUGH PLANNING BOARD.	
CHAIRMAN:	DATE:
SECRETARY:	DATE:
ENGINEER:	DATE:
BOROUGH CLERK:	DATE:
BOROUGH ENGINEER:	DATE:
THIS PLAN IS HEREBY APPROVED BY THE CAMDEN COUNTY PLANNING BOARD SUBJECT TO THE RESTRICTIONS, AGREEMENTS AND CONDITIONS SET FORTH BY THE CAMDEN COUNTY PLANNING BOARD.	
CHAIRMAN:	DATE:

APPLICATION NO. \_\_\_\_\_



10000 Medical Center Drive, Suite 300 W. Tel. 856.234.0800  
Mount Laurel, NJ 08054-1740 Fax. 856.234.0926  
Certification of Authority: 24C2-2804400  
The Contractor shall verify and be responsible for all dimensions. DO NOT SCALE THE DRAWING - any errors or omissions shall be reported to Stantec, without delay.  
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Project: 501-503 STATION AVENUE  
BLOCK 25, LOTS 16 & 17.01  
HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY

Permit-Seal

Client: BROKEN GROUND PROPERTIES LLC  
Title: GENERAL INFORMATION PLAN

Professional Engineer, Professional Planner  
N.J.P.E. LICENSE #42870, N.J.P.P. LICENSE #L056653

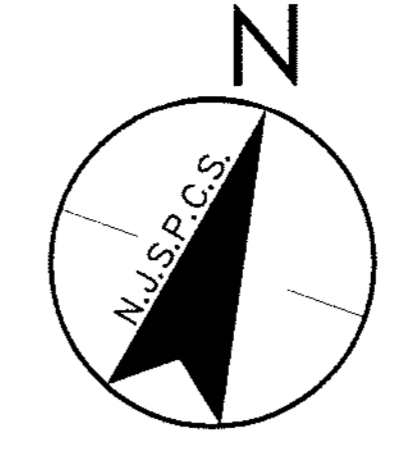
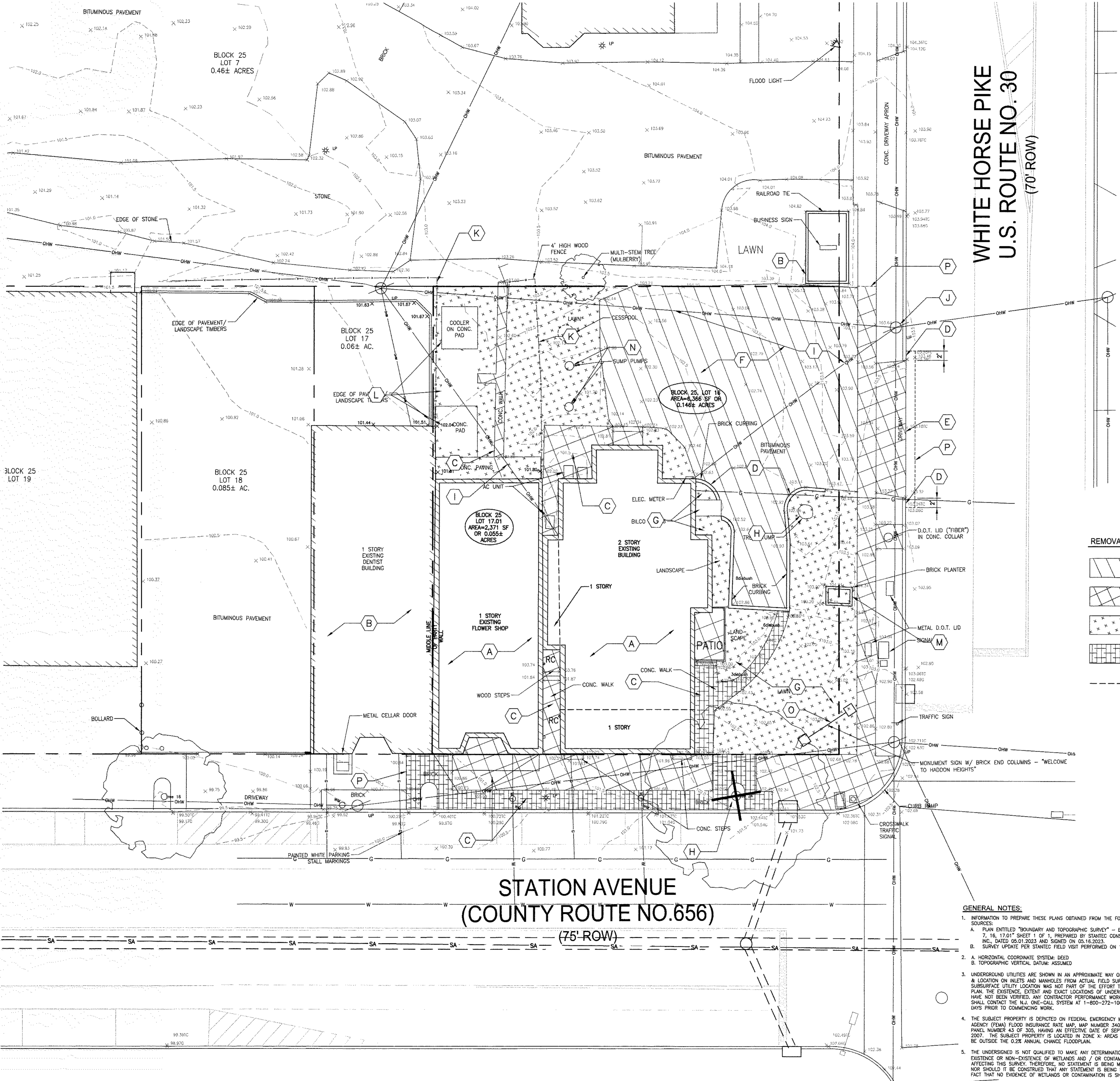
Signature: *CWQ* 2.15.24  
DATE

Project Number: 192520468

MAI CWQ SAK 02.13.24  
Dwn. Chkd. Dgn. MM.DD.YY

Scale: AS NOTED  
Drawing No. G-001  
Revision Sheet

Project: 2-14-24 09:15am By: mgm/mt  
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- ### DEMOLITION NOTES:
- CONTRACTOR IS RESPONSIBLE FOR A THOROUGH EXPLORATION OF EXISTING CONDITIONS AND SHALL ASSUME FULL RESPONSIBILITY FOR THE DEMOLITION AND REMOVAL OF EXISTING ENCROACHMENTS WITHIN PROJECT SITE WHICH INTERFERE WITH PROPOSED CONSTRUCTION WHETHER SHOWN ON THIS PLAN OR NOT. CONTRACTOR IS TO SECURE DEMOLITION PERMITS, IF REQUIRED, FOR THE WORK AND PAY FOR SAME.
  - ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE GOVERNING BUILDING AND ZONING CODES OF THE BOROUGH OF HADDON HEIGHTS OR ANY OTHER AGENCY HAVING JURISDICTION.
  - ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS AND/OR FOUND ON THE SITE DURING DEMOLITION OR CONSTRUCTION SHALL BE, UNLESS OTHERWISE DIRECTED, THE CONTRACTOR'S PROPERTY AND SHALL BE PROMPTLY REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
  - LOCATIONS OF UTILITIES SHOWN ON THIS PLAN ARE NOT NECESSARILY COMPLETE. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES OPERATING WITHIN THE CONSTRUCTION AREA TO VERIFY THE LOCATION, SIZE, TYPE AND ELEVATIONS OF ANY UTILITIES PRIOR TO COMMENCEMENT OF DEMOLITION OR EXCAVATION ACTIVITIES. LOCATION OF UTILITIES SHALL INCLUDE CONTACT WITH THE NJ ONE-CALL SYSTEM (800-272-1000).
  - APPLICABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION. SUCH MEASURES SHALL BE LEFT IN PLACE UNTIL THE PROJECT IS COMPLETED OR THE AREA IS STABILIZED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE CAMDEN COUNTY SOIL CONSERVATION DISTRICT.
  - ABOVE GRADE STRUCTURES SHOWN TO BE REMOVED OR DEMOLISHED INCLUDES COMPLETE REMOVAL OF BELOW GRADE STRUCTURES (FOOTINGS, ETC.) ASSOCIATED WITH THESE SITE IMPROVEMENTS AND BACKFILL OF OPEN AREAS WITH COMPACTED SELECT BACKFILL, UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMAL INTERFERENCE WITH ROADS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. THE AREAS OF DEMOLITION SHALL BE PROTECTED TO ENSURE SAFE PASSAGE OF PERSONS IN THE RESPECTIVE AREAS.
  - CONTRACTOR SHALL PROTECT ALL STRUCTURES OR OBJECTS TO REMAIN SO AS TO AVOID DAMAGE DURING DEMOLITION ACTIVITIES. ANY AND ALL DAMAGE CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS SHALL BE PROMPTLY REPAIRED TO ORIGINAL CONDITION OR BETTER BY THE CONTRACTOR AT NO COST TO THE OWNER.
  - THE CONTRACTOR SHALL DESIGNATE AN INDIVIDUAL AS SITE SUPERVISOR RESPONSIBLE FOR SITE SAFETY DURING THE COURSE OF DEMOLITION OPERATIONS.
  - CONTRACTOR SHALL SAW CUT ALONG THE EDGE OF EXISTING HARD MATERIALS (CONCRETE, ASPHALT, ETC.) SHOWN TO BE REMOVED, WHERE SUCH MATERIALS ADJUT SURFACES OF LIKE MATERIALS TO REMAIN.
  - WHERE EXISTING HARDSCAPE MATERIAL IS SHOWN TO BE REMOVED (ASPHALT, CONCRETE, ETC.) CONTRACTOR SHALL ALSO REMOVE EXISTING BASE COURSE MATERIALS (IF MATERIALS EXIST UNDER SURFACE), UNLESS OTHERWISE NOTED. CONTRACTOR MAY STOCKPILE BASE COURSE MATERIAL ON SITE FOR REUSE ON THIS PROJECT UPON APPROVAL OF THE MUNICIPAL ENGINEER.
  - CONTRACTOR SHALL STRIP AND STOCKPILE EXISTING TOPSOIL FOR REUSE ON-SITE. REMOVE HEAVY GROWTH OF GRASS AND OTHER PERSISTENT MATERIAL FROM THE AREA BEFORE STRIPPING TOPSOIL. STOCKPILE TOPSOIL IN AREA SHOWN OR WHERE DIRECTED BY THE OWNER'S REPRESENTATIVE. CONSTRUCT STORAGE PILES TO FREELY DRAIN SURFACE WATER. COVER STORAGE PILES AS REQUIRED TO PREVENT WINDBLOWN DUST. EXCESS TOPSOIL SHALL BE REMOVED FROM SITE.
  - DURING DEMOLITION WORK CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE PROVISIONS FOR DUST CONTROL AND PROTECTION OF EXISTING FACILITIES FROM DUST. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY INCIDENTAL DAMAGE AS A RESULT OF INSUFFICIENT DUST CONTROL.
  - STUMPS SHALL BE CUT OR REMOVED BY A STUMP CUTTING MACHINE, TO A MINIMUM DEPTH OF AT LEAST 2 FEET BELOW SUBGRADE. THE RESULTING DEPRESSION SHALL BE FILLED WITH COMPACTED STRUCTURAL FILL MATERIAL.
  - REFER TO "GENERAL INFORMATION PLAN", SHEET G-001, FOR PROJECT LEGEND. REFER TO "SITE PLAN", SHEET C-102, FOR GENERAL NOTES PERTAINING TO WORK OF THIS PLAN. THIS PLAN SHALL BE USED FOR SITE DEMOLITION ONLY.
  - IF ANY ADDITIONAL EXISTING UTILITIES ARE FOUND ON-SITE, THEY ARE TO BE REMOVED AND/OR ABANDONED.

#### REMOVALS LEGEND

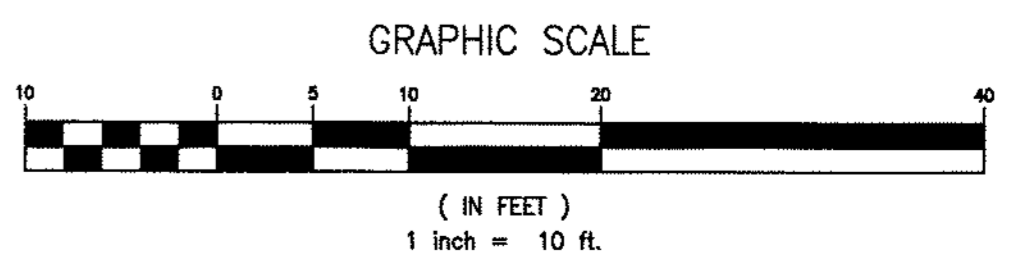
- REMOVE ASPHALT PAVING
- REMOVE CONCRETE PAVING
- REMOVE TURFOSS LAWN; STRIP & STOCKPILE TOPSOIL
- REMOVE BRICK PAVERS
- SAWCUT PAVEMENT

#### KEY TO SITE DEMOLITION AND REMOVAL ITEMS

- A** REMOVE EXISTING BUILDING AND RELATED IMPROVEMENTS
- B** PROTECT EXISTING BUILDING / STRUCTURE TO REMAIN
- C** REMOVE CONCRETE OR BRICK SIDEWALK
- D** REMOVE CONCRETE OR BRICK CURBING
- E** REMOVE CONCRETE DRIVEWAY APRON
- F** REMOVE ASPHALT PAVING
- G** REMOVE LAWN / LANDSCAPE PLANTINGS
- H** REMOVE TREE / TREE STUMP
- I** REMOVE OVERHEAD WIRES
- J** REMOVE UTILITY POLE FOR RELOCATION
- K** REMOVE WOOD FENCE
- L** REMOVE COOLER/SHED/CONCRETE PAD
- M** REMOVE BRICK PLANTER
- N** REMOVE SUMP PUMP AND RELATED FEATURES
- O** REMOVE SIGN AND MASONRY SIGN STRUCTURE
- P** SAW CUT PAVEMENT

#### GENERAL NOTES:

- INFORMATION TO PREPARE THESE PLANS OBTAINED FROM THE FOLLOWING SOURCES:
  - A. PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY" - BLOCK 25, LOTS 7, 16, 17, 18 SHEET 1 OF 1, PREPARED BY STANTEC CONSULTING SERVICES INC., DATED 09.01.2023 AND SIGNED ON 05.18.2023.
  - B. SURVEY UPDATE PER STANTEC FIELD VISIT PERFORMED ON 12.28.2023.
2. A. HORIZONTAL COORDINATE SYSTEM: BEED  
B. TOPOGRAPHIC VERTICAL DATUM: ASSUMED
3. UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY (ELEVATION & LOCATION ON INLETS AND MANHOLES FROM ACTUAL FIELD SURVEY). SUBSURFACE UTILITY LOCATION WAS NOT PART OF THE EFFORT TO PREPARE THIS PLAN. THE EXISTENCE, EXTENT AND EXACT LOCATIONS OF UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED. ANY CONTRACTOR PERFORMANCE WORK AT THIS SITE SHALL CONTACT THE N.J. ONE-CALL SYSTEM AT 1-800-272-1000 AT LEAST 3 DAYS PRIOR TO COMMENCING WORK.
4. THE SUBJECT PROPERTY IS DEPICTED ON FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP, MAP NUMBER 340770042E, PANEL NUMBER 43 OF 305, HAVING AN EFFECTIVE DATE OF SEPTEMBER 28, 2007. THE SUBJECT PROPERTY IS LOCATED IN ZONE X; AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
5. THE UNDERSIGNED IS NOT QUALIFIED TO MAKE ANY DETERMINATION OF THE EXISTENCE OR NON-EXISTENCE OF WETLANDS AND / OR CONTAMINATION AFFECTING THIS SURVEY. THEREFORE, NO STATEMENT IS BEING MADE OR IMPLIED, NOR SHOULD IT BE CONSTRUED THAT ANY STATEMENT IS BEING MADE BY THE FACT THAT NO EVIDENCE OF WETLANDS OR CONTAMINATION IS SHOWN.



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BLOCK 25, LOTS 16 & 17, 01  
HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY

Client: BROKEN GROUND PROPERTIES LLC

Permit-Seal

Professional Engineer, Professional Planner  
N.J.P.E. LICENSE #42870, N.J.P.P. LICENSE #105653

Project Number: 192520466

MAI CWQ SAK 02.13.24  
Dwn. Chk'd. Dgn. MM.DD.YY  
Scale: 1" = 10'

Drawing No. C-101.1  
Revision Sheet

Title: SITE DEMOLITION PLAN

By: [Signature]

Appr.:

Revision:

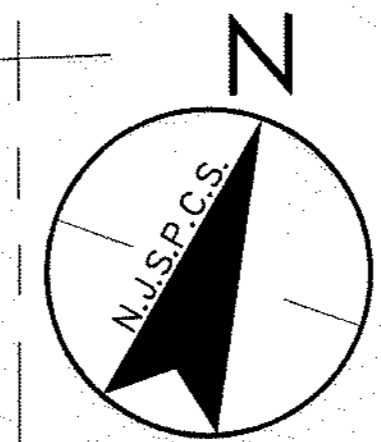
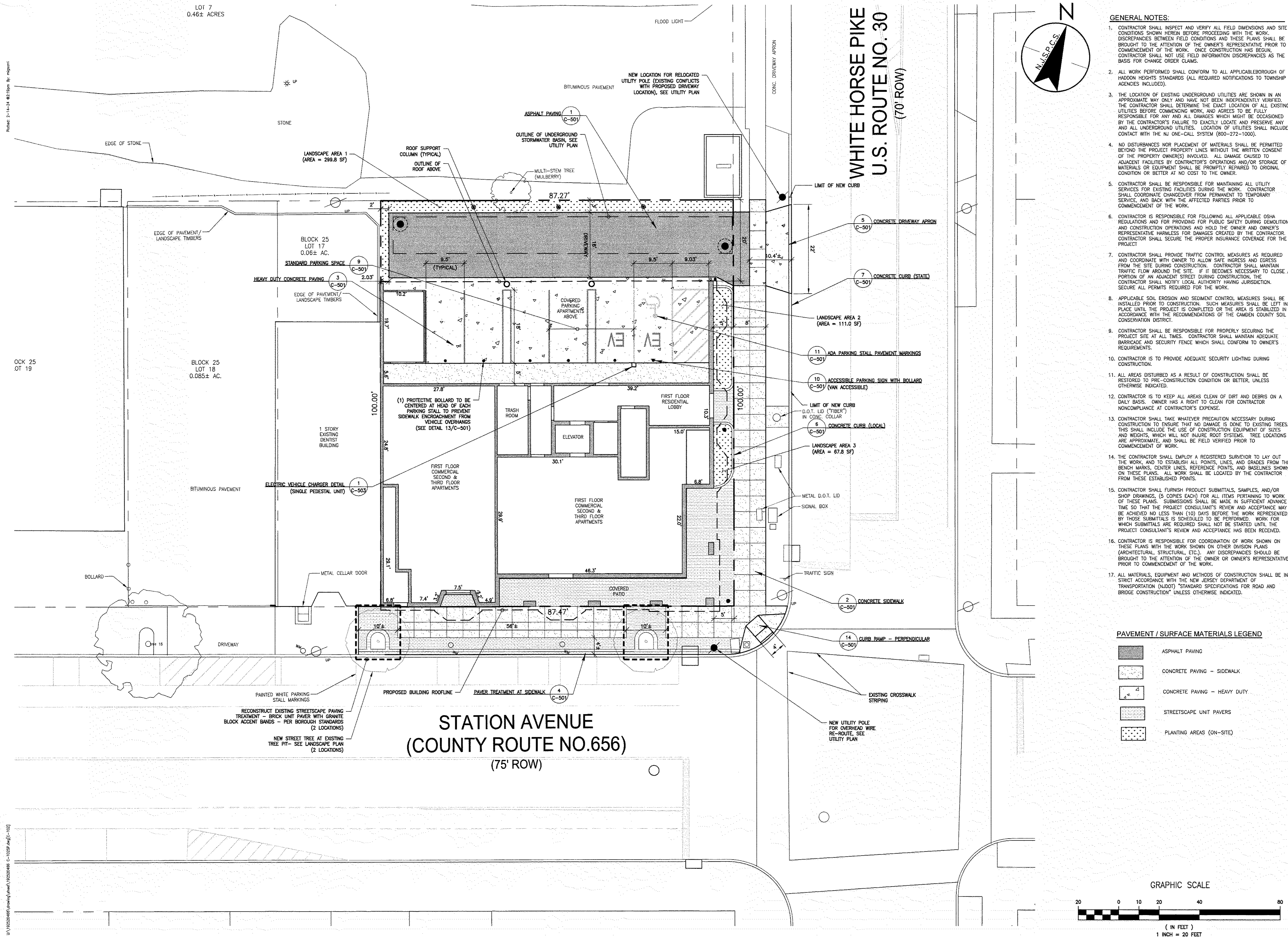
LOT 7  
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Project: 19-12-24 02:15pm By: mgp/mt

BLOCK 25  
LOT 19

BLOCK 25  
LOT 18  
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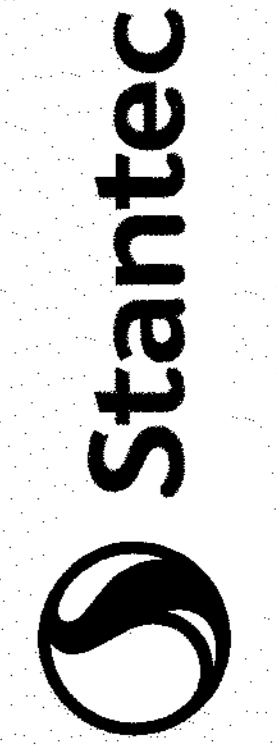
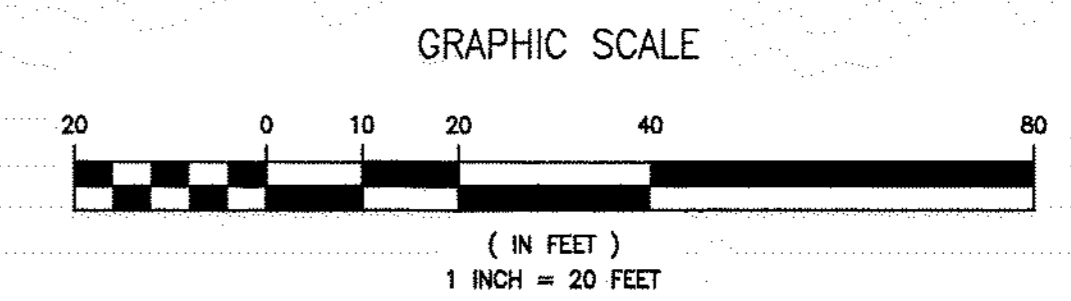
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- GENERAL NOTES:**
- CONTRACTOR SHALL INSPECT AND VERIFY ALL FIELD DIMENSIONS AND SITE CONDITIONS SHOWN HEREIN BEFORE PROCEEDING WITH THE WORK. DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF THE WORK. ONCE CONSTRUCTION HAS BEGUN, CONTRACTOR SHALL NOT USE FIELD INFORMATION DISCREPANCIES AS THE BASIS FOR CHANGE ORDER CLAIMS.
  - ALL WORK PERFORMED SHALL CONFORM TO ALL APPLICABLE BOROUGH OF HADDON HEIGHTS STANDARDS (ALL REQUIRED NOTIFICATIONS TO TOWNSHIP AGENCIES INCLUDED).
  - THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. LOCATION OF UTILITIES SHALL INCLUDE CONTACT WITH THE NJ ONE-CALL SYSTEM (800-272-1000).
  - NO DISTURBANCES NOR PLACEMENT OF MATERIALS SHALL BE PERMITTED BEYOND THE PROJECT PROPERTY LINES WITHOUT THE WRITTEN CONSENT OF THE PROPERTY OWNER(S) INVOLVED. ALL DAMAGE CAUSED TO ADJACENT FACILITIES BY CONTRACTOR'S OPERATIONS AND/OR STORAGE OF MATERIALS OR EQUIPMENT SHALL BE PROMPTLY REPAIRED TO ORIGINAL CONDITION OR BETTER AT NO COST TO THE OWNER.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL UTILITY SERVICES FOR EXISTING FACILITIES DURING THE WORK. CONTRACTOR SHALL COORDINATE CHANGEOVER FROM PERMANENT TO TEMPORARY SERVICES, AND BACK WITH THE AFFECTED PARTIES PRIOR TO COMMENCEMENT OF THE WORK.
  - CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL APPLICABLE OSHA REGULATIONS AND FOR PROVIDING FOR PUBLIC SAFETY DURING DEMOLITION AND CONSTRUCTION OPERATIONS AND HOLD THE OWNER AND OWNER'S REPRESENTATIVE HARMLESS FOR DAMAGES CREATED BY THE CONTRACTOR. CONTRACTOR SHALL SECURE THE PROPER INSURANCE COVERAGE FOR THE PROJECT.
  - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL MEASURES AS REQUIRED AND COORDINATE WITH OWNER TO ALLOW SAFE INGRESS AND EGRESS FROM THE SITE DURING CONSTRUCTION. CONTRACTOR SHALL MAINTAIN TRAFFIC FLOW AROUND THE SITE. IF IT BECOMES NECESSARY TO CLOSE A PORTION OF AN ADJACENT STREET DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY LOCAL AUTHORITY HAVING JURISDICTION, SECURE ALL PERMITS REQUIRED FOR THE WORK.
  - APPLICABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. SUCH MEASURES SHALL BE LEFT IN PLACE UNTIL THE PROJECT IS COMPLETED OR THE AREA IS STABILIZED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE CAMDEN COUNTY SOIL CONSERVATION DISTRICT.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY SECURING THE PROJECT SITE AT ALL TIMES. CONTRACTOR SHALL MAINTAIN ADEQUATE BARRICADE AND SECURITY FENCE WHICH SHALL CONFORM TO OWNER'S REQUIREMENTS.
  - CONTRACTOR IS TO PROVIDE ADEQUATE SECURITY LIGHTING DURING CONSTRUCTION.
  - ALL AREAS DISTURBED AS A RESULT OF CONSTRUCTION SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION OR BETTER, UNLESS OTHERWISE INDICATED.
  - CONTRACTOR IS TO KEEP ALL AREAS CLEAN OF DIRT AND DEBRIS ON A DAILY BASIS. OWNER HAS A RIGHT TO CLEAN FOR CONTRACTOR NONCOMPLIANCE AT CONTRACTOR'S EXPENSE.
  - CONTRACTOR SHALL TAKE WHATEVER PRECAUTION NECESSARY DURING CONSTRUCTION TO ENSURE THAT NO DAMAGE IS DONE TO EXISTING TREES. THIS SHALL INCLUDE THE USE OF CONSTRUCTION EQUIPMENT OF SIZES AND WEIGHTS WHICH WILL NOT INJURE ROOT SYSTEMS. TREE LOCATIONS ARE APPROXIMATE, AND SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF WORK.
  - THE CONTRACTOR SHALL EMPLOY A REGISTERED SURVEYOR TO LAY OUT THE WORK, AND TO ESTABLISH ALL POINTS, LINES, AND GRADES FROM THE BENCH MARKS, CENTER LINES, REFERENCE POINTS, AND BASELINES SHOWN ON THESE PLANS. ALL WORK SHALL BE LOCATED BY THE CONTRACTOR FROM THESE ESTABLISHED POINTS.
  - CONTRACTOR SHALL FURNISH PRODUCT SUBMITTALS, SAMPLES, AND/OR SHOP DRAWINGS, (5 COPIES EACH) FOR ALL ITEMS PERTAINING TO WORK OF THESE PLANS. SUBMISSIONS SHALL BE MADE IN SUFFICIENT ADVANCE TIME SO THAT THE PROJECT CONSULTANT'S REVIEW AND ACCEPTANCE MAY BE ACHIEVED NO LESS THAN (10) DAYS BEFORE THE WORK REPRESENTED BY THOSE SUBMITTALS IS SCHEDULED TO BE PERFORMED. WORK FOR WHICH SUBMITTALS ARE REQUIRED SHALL NOT BE STARTED UNTIL THE PROJECT CONSULTANT'S REVIEW AND ACCEPTANCE HAS BEEN RECEIVED.
  - CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF WORK SHOWN ON THESE PLANS WITH THE WORK SHOWN ON OTHER DIVISION PLANS (ARCHITECTURAL, STRUCTURAL, ETC.). ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER OR OWNER'S REPRESENTATIVE, PRIOR TO COMMENCEMENT OF THE WORK.
  - ALL MATERIALS, EQUIPMENT AND METHODS OF CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" UNLESS OTHERWISE INDICATED.

**PAVEMENT / SURFACE MATERIALS LEGEND**

- ASPHALT PAVING
- CONCRETE PAVING - SIDEWALK
- CONCRETE PAVING - HEAVY DUTY
- STREETSCAPE UNIT PAVERS
- PLANTING AREAS (ON-SITE)



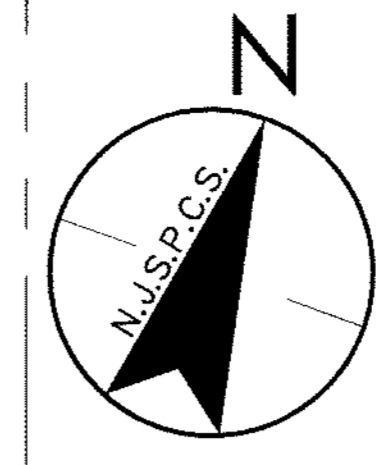
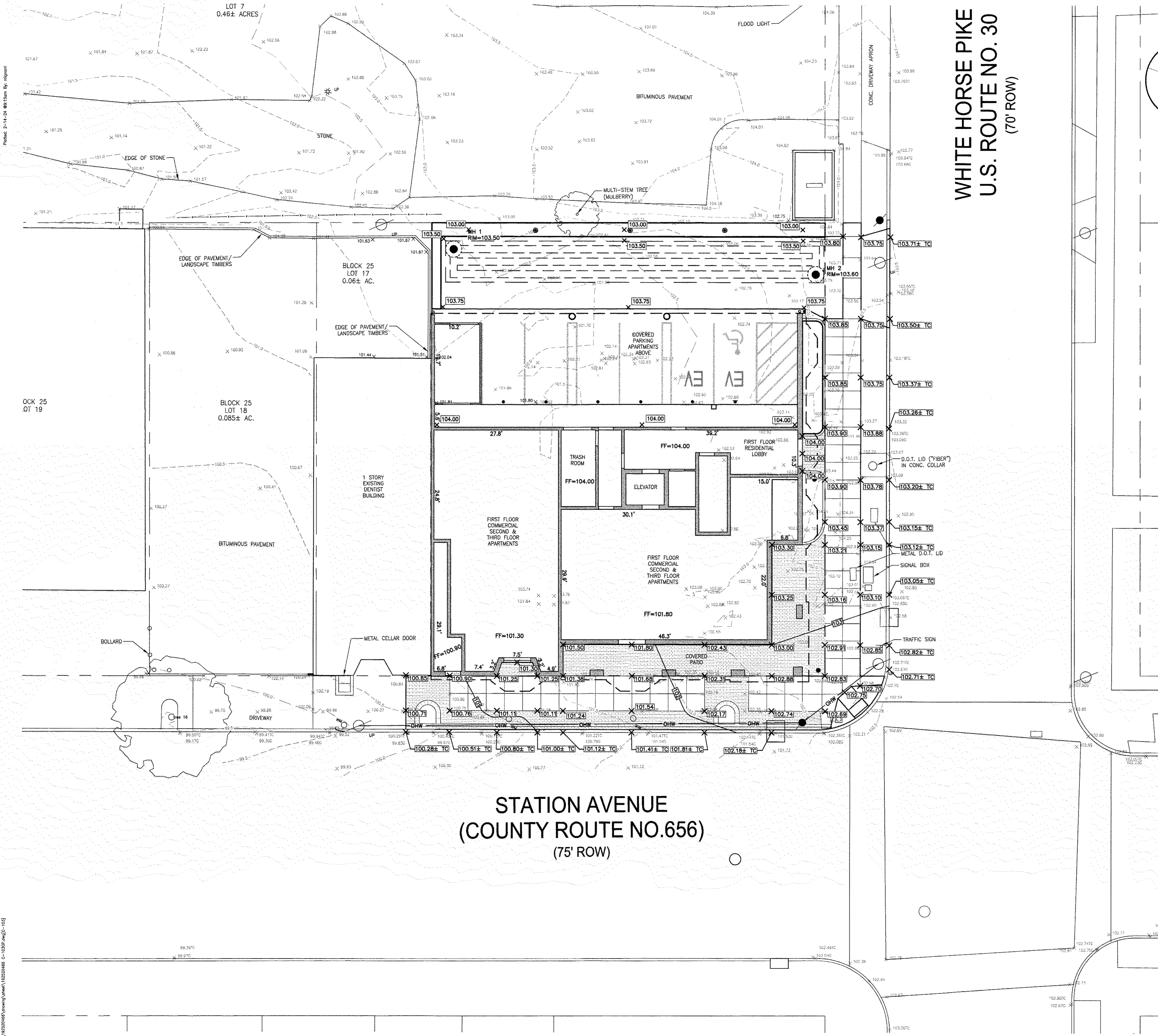
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Project: 501-830 STATION AVENUE  
 BLOCK 25, LOTS 16 & 17.01  
 HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY  
 Client: BROKEN GROUND PROPERTIES LLC  
 Title: SITE PLAN  
 Permit-Sal

**CLIFTON W. QUAY**  
 PROFESSIONAL ENGINEER, PROFESSIONAL PLANNER  
 N.J.P.E. LICENSE #42670, N.J.P.P. LICENSE #L05663

DATE: 2.13.24

Project Number: 192520466			
MAI	CWQ	SAK	02.13.24
Dwn.	Chkd.	Diagn.	MM.DD.YY
Scale: 1" = 20'			
Drawing No.	C-102		
Revision	Sheet		



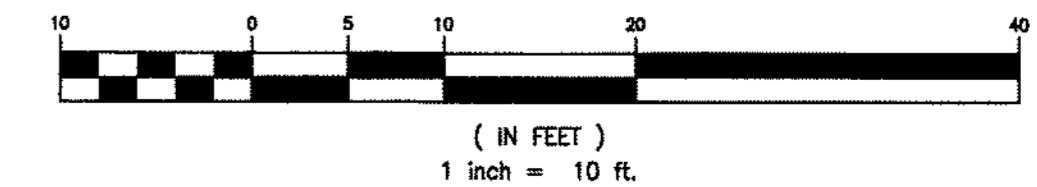
**EARTHWORK NOTES:**

1. SITE PREPARATION:
  - A. ALL DELETERIOUS MATERIALS INCLUDING TOPSOIL, ROOT MASS, TREES AND VEGETATION, EXISTING FOUNDATIONS AND SUBGRADE WALLS AND OTHER MATERIALS DETERMINED IN FIELD BY THE OWNER'S REPRESENTATIVE TO BE UNSUITABLE SHALL BE REMOVED PRIOR TO CUT AND FILL OPERATIONS.
  - B. STRIP AND STOCKPILE TOPSOIL FOR REUSE ON SITE.
  - C. REMOVE EXCESS TOPSOIL AND DELETERIOUS MATERIALS FROM SITE AND DISPOSE OF IN A LAWFUL MANNER.
2. EXCAVATION:
  - A. EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED, REGARDLESS OF CHARACTER OF MATERIALS AND OBSTRUCTIONS ENCOUNTERED, OR ANY WATER ENCOUNTERED.
  - B. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS.
  - C. REMOVE BOULDERS PROTRUDING INTO SUBGRADE AREAS TO A DEPTH OF 6 INCHES BELOW FINISH SUBGRADE ELEVATIONS AND REPLACE WITH STRUCTURAL FILL.
3. PROOF ROLLING:
  - A. IN THE PRESENCE OF OWNERS REPRESENTATIVE PROOF ROLL EXPOSED SUBGRADE AREAS WITH A HEAVY SMOOTH DRUM ROLLER (MINIMUM 15 TON STATIC WEIGHT OR EQUIVALENT) TO DETECT THE PRESENCE OF LOOSE OR SOFT ZONES.
  - B. REPAIR LOOSE OR SOFT ZONES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
  - C. PERFORM PROOF ROLLING OPERATIONS WITHIN FILL AREAS PRIOR TO PLACEMENT OF FILLS AND WITHIN CUT AREAS WHEN SUBGRADE ELEVATIONS HAVE BEEN REACH AND IMMEDIATELY PRIOR TO PLACEMENT OF ADDITIONAL WORK.
  - D. OWNER'S REPRESENTATIVE SHALL EVALUATE ALL SUBGRADE AREAS PRIOR TO PLACEMENT OF ADDITIONAL WORK.
  - E. GRADE PAVEMENT AND SIDEWALK SUBGRADES TO DRAIN WATER AND PREVENT PONDING FROM BENEATH THE PAVEMENT AND SIDEWALK SYSTEMS.
4. FOUNDATION AND UTILITY TRENCHES:
  - A. BACKFILL WITH STRUCTURAL FILL UNDER DIRECTION OF OWNER'S REPRESENTATIVE.
  - B. REMOVE LARGE BOULDERS ENCOUNTERED DURING EXCAVATION WITH ROCK REMOVAL TECHNIQUES.
  - C. OVER EXCAVATE TRENCH AS REQUIRED TO REMOVE ROCK.
  - D. Dewater trench as required.
  - E. PARTIAL REMOVAL OF BOULDERS TO A MINIMUM 18 INCHES BELOW FOOTING/TRENCH BOTTOM MAY BE ACCOMPLISHED UNDER DIRECTION OF OWNER'S REPRESENTATIVE.
  - F. BOULDER PROTRUSION INTO BOTTOM OR SIDE OF FOOTING IS NOT ACCEPTABLE.
5. FILL:
  - A. PLACE STRUCTURAL FILL WHEN SUPPORTING SLABS, PAVEMENTS AND FOUNDATIONS.
  - B. PLACE ON APPROVED, PROOF ROLLED, NON-YIELDING SUBGRADE IN CUTS NOT EXCEEDING 8 INCHES.
  - C. MAINTAIN STRUCTURAL FILL AT NOMINAL OPTIMUM MOISTURE CONTENT (ASTM D 698).
  - D. COMPACT TO 98 PERCENT OF MAXIMUM DRY DENSITY (ASTM D698).
  - E. STRUCTURAL FILL:
    - 1) CLEAN SOILS WITHOUT DELETERIOUS INCLUSIONS.
    - 2) MAINTAIN ON-SITE SOILS SELECTED BY OWNER'S REPRESENTATIVE AT NOMINAL OPTIMUM MOISTURE CONTENT BEFORE USE AS STRUCTURAL FILL. SOILS MAY REQUIRE AERATION AND DRYING WHICH IS BEST ACCOMPLISHED DURING SUMMER MONTHS.
  - F. BORROW FILL:
    - 1) CLEAN WELL GRADED SOILS WITH GOOD STRENGTH CHARACTERISTICS.
    - 2) MAXIMUM PARTICLE SIZE: 3 INCHES.
    - 3) CONTAIN NOT MORE THAN 20% SILT/CLAY (BY WEIGHT).
  - G. SUBMIT TO OWNER'S REPRESENTATIVE SAMPLES OF ON-SITE OR BORROW SOURCES OF FILL FOR TESTING AT LEAST ONE (1) WEEK BEFORE USE ON-SITE.
6. OWNER RESERVES THE RIGHT TO EMPLOY A GEOTECHNICAL ENGINEER TO PROVIDE FIELD QUALITY CONTROL SERVICES DURING CONSTRUCTION.
7. PAVEMENT:
  - A. PRIOR TO THE PLACING OF THE SURFACE COURSE, THE CONTRACTOR SHALL REPAIR ANY DEFECTS IN THE BASE COURSE. WHERE CRACKING OR ANY OTHER TYPE OF FAILURE HAS OCCURRED IN THE BASE COURSE, THE CONTRACTOR SHALL COMPLETELY REMOVE THE BASE COURSE, STABILIZE THE SUBGRADE IF NECESSARY AND CONSTRUCT NEW BASE COURSE. WHERE THE DEFICIENCY INVOLVES DEPRESSIONS OR RAVELING IN THE SURFACE OF THE BASE COURSE, THE REPAIR MAY BE MADE BY SKIN PATCHING WITH A SUITABLE BITUMINOUS MATERIAL.
  - B. PRIOR TO THE PLACEMENT OF THE SURFACE COURSE, THE CONTRACTOR SHALL SUPPLY SUFFICIENT WATER AT THE HIGH POINTS AS SHOWN ON THE PLANS AND SHALL RUN SAID WATER INTO THE GUTTERS IN ORDER TO DETERMINE WHETHER OR NOT GUTTER/PAVEMENT GRADES ARE SATISFACTORY AND PONDING DOES NOT OCCUR.
  - C. WHEREVER PUDDLES OCCUR, THE CONTRACTOR SHALL SKIN PATCH THE BASE COURSE TO ACHIEVE PROPER GRADES IN THE GUTTERS/PAVEMENT. AFTER REPAIR OF THE BASE COURSE, A TACK COAT SHALL BE APPLIED AS SPECIFIED IN SECTION 401.03.05 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

**LEGEND:**

- X 102.75 EXISTING SPOT ELEVATION
- - - 98 EXISTING TOPOGRAPHIC CONTOUR
- X 118.07 PROPOSED SPOT ELEVATION
- X 98.90 FC FLUSH CURB SPOT ELEVATION
- X 98.80 TC 98.40 G TOP OF CURB/GUTTER SPOT ELEVATION
- FF=101.45 FIRST FLOOR ELEVATION
- - - 98 PROPOSED TOPOGRAPHIC CONTOUR

**GRAPHIC SCALE**



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Revision	By	App'd	MM.DD.YY

Project  
 501-503 STATION AVENUE  
 BLOCK 25, LOTS 16 & 17.01  
 HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY

Client  
 BROKEN GROUND PROPERTIES LLC

Permit-Seal

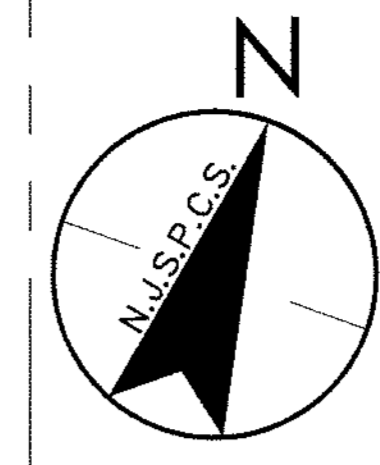
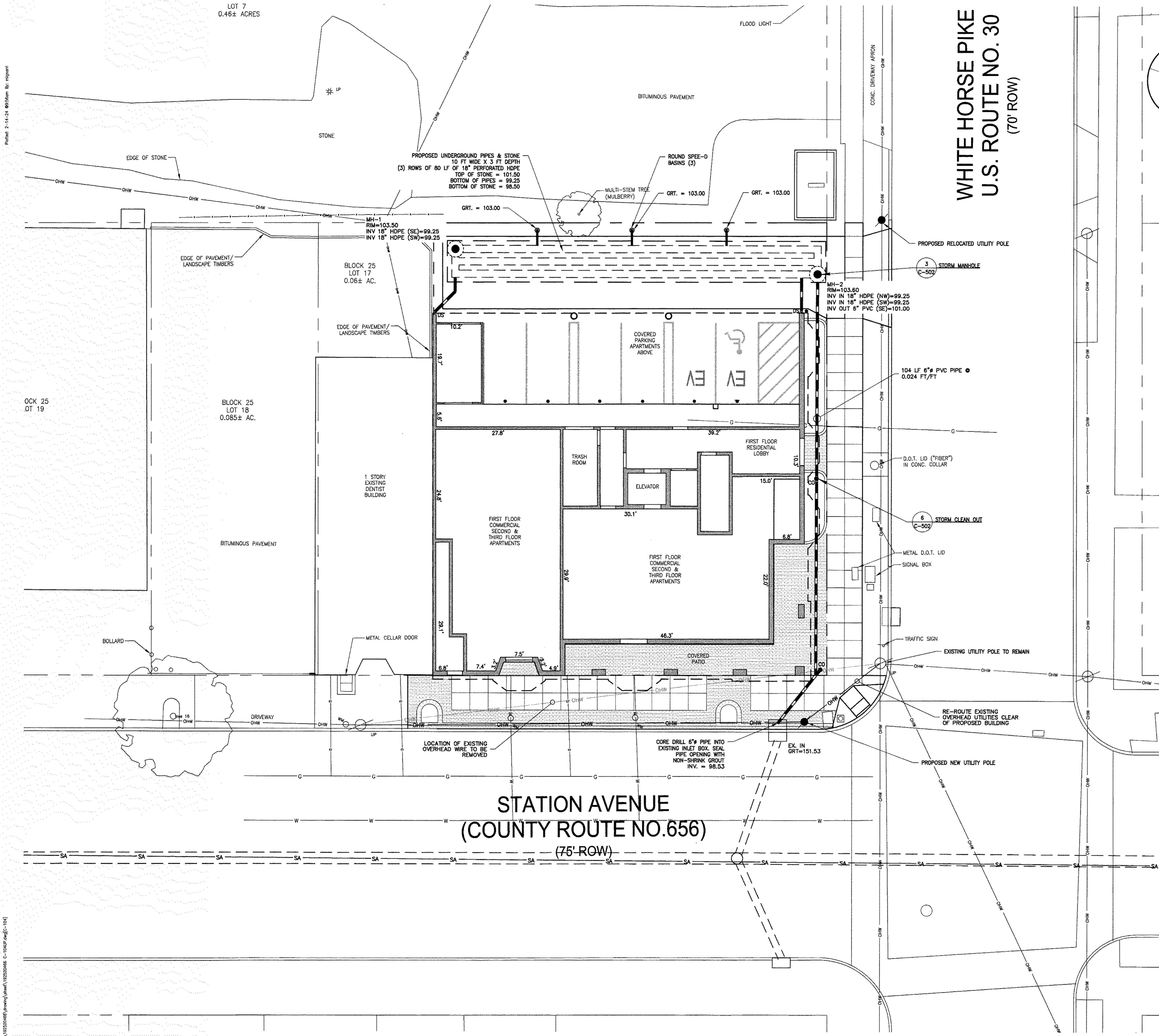
**CLIFTON W. QUAY**  
 PROFESSIONAL ENGINEER, PROFESSIONAL PLANNER  
 N.J.P.E. LICENSE #42670, N.J.P.P. LICENSE #105653

*Clifton W. Quay*  
 2.13.24  
 DATE

Project Number:	192520466		
MAI	CWO	SAK	02.13.24
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Scale:	1" = 10'		
Drawing No.	C-103		
Revision	Sheet		

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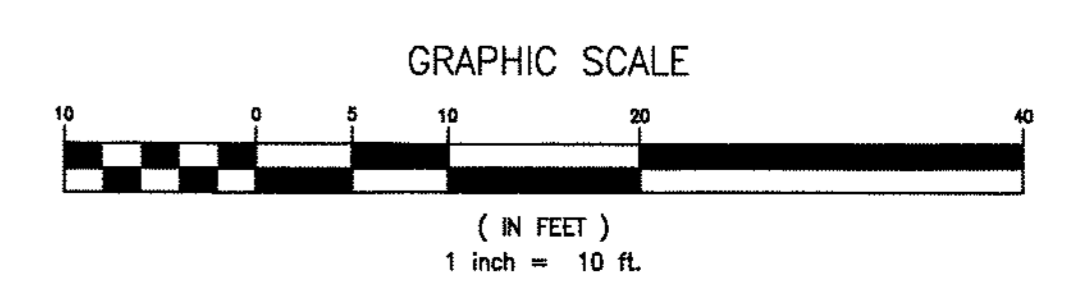
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- UTILITY NOTES:**
- ALL UTILITY CONTRACTORS SHALL PROCURE ALL REQUIRED PERMITS, LICENSES AND INSPECTIONS, PAY ALL CHARGES AND GIVE ALL NECESSARY NOTICES AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
  - ALL METHODS AND MATERIALS OF CONSTRUCTION SHALL CONFORM, WHERE APPLICABLE, TO THE RULES AND REGULATIONS OF THE GOVERNING AUTHORITY HAVING JURISDICTION AND/OR THE LOCAL UTILITY COMPANY.
  - PIPE MATERIAL:
    - REINFORCED CONCRETE PIPE (RCP): ASTM C 76, CLASS III, WITH WALL TYPE A, B, OR C; MESH REINFORCEMENT; INSIDE NOMINAL DIAMETER AS INDICATED WITH BELL AND SPIGOT END.
      - REINFORCED CONCRETE: ASTM C 443.
      - PIPE JOINT: SDR 35 PER ASTM D-3034 WITH BELL AND GASKET JOINTS.
    - POLYVINYL CHLORIDE (PVC) PIPE: ASTM D 3034, RATED SDR 35, UNLESS OTHERWISE REQUIRED BY LOCAL UTILITY HAVING JURISDICTION.
      - CONTINUOUSLY MARK PIPE WITH MANUFACTURER'S NAME, PIPE SIZE, CELL CLASSIFICATION, SDR RATING, AND ASTM D 3034 CLASSIFICATION.
      - PIPE JOINT: ASTM D 3034, TABLE 2; WITH INTEGRALLY MOLDED BELL ENDS AND FACTORY SUPPLIED ELASTOMERIC GASKETS AND LUBRICANT.
    - POLYVINYL CHLORIDE (PVC) PIPE: ASTM D 1784, RATED SCHEDULE 40, UNLESS OTHERWISE REQUIRED BY LOCAL UTILITY HAVING JURISDICTION.
      - CONTINUOUSLY MARK PIPE WITH MANUFACTURER'S NAME, PIPE SIZE, CELL CLASSIFICATION, SCHEDULE 40 RATING, AND ASTM D 1784 CLASSIFICATION.
      - PIPE JOINT: ASTM D 3212; WITH INTEGRALLY MOLDED BELL ENDS AND FACTORY SUPPLIED ELASTOMERIC GASKETS AND LUBRICANT.
    - CORRUGATED POLYETHYLENE (HDPE) PIPE: AASHTO DESIGNATION #252, TYPE S; SMOOTH INTERIOR.
      - FITTINGS: ASTM D 3034, RATED SDR 35; WITH THERMO-MOLDED PVC.
      - GASKETS: ASTM F 477; WITH THERMO-MOLDED PVC FITTINGS AND CPP PIPE JOINT ASSEMBLY.
  - MATERIALS FOR POTABLE WATER SERVICE AND ALL METHODS OF CONSTRUCTION SHALL CONFORM TO LOCAL WATER AND SEWER DEPARTMENT RULES AND REGULATIONS. CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS, LABOR AND TESTING FOR AND SERVICE CONNECTIONS AND COORDINATE SERVICE INITIATION REQUIREMENTS WITH THE TOWNSHIP.
  - PROVIDE MINIMUM COVER OF 42" FROM FINISH GRADE FOR POTABLE WATER SERVICE.
  - CONTRACTOR SHALL COORDINATE INSTALLATION OF GAS SERVICE WITH PSE&G AND PROVIDE ALL NECESSARY MATERIALS AND LABOR NOT PROVIDED BY PSE&G FOR COMPLETION OF MAIN AND SERVICE. SIZE OF SERVICE SHALL BE VERIFIED WITH PSE&G.
  - CONTRACTOR SHALL COORDINATE INSTALLATION OF ELECTRIC SERVICE WITH PSE&G AND PROVIDE ALL NECESSARY MATERIALS AND LABOR NOT PROVIDED BY PSE&G FOR COMPLETION OF SERVICE. SERVICE REQUIREMENTS SHALL BE VERIFIED WITH PSE&G. CONNECTION LOCATION TO BE DETERMINED BY PSE&G.
  - REFER TO PLAN C-102 FOR GENERAL NOTES PERTAINING TO WORK OF THIS PLAN.
  - GENERAL CONTRACTOR SHALL EMPLOY AN INDEPENDENT SOILS INSPECTOR FOR 100% CONTINUOUS INSPECTION OF THE BEDDING AND BACKFILL OPERATION. COMPACTION TESTS SHALL BE TAKEN AT THE BOTTOM OF TRENCH AND AT EACH LIFT OF BACKFILL.
  - GENERAL CONTRACTOR SHALL EMPLOY A LICENSED SURVEYOR TO RECORD AS-BUILT TOP OF PIPE ELEVATIONS TAKEN WHEN BEDDING OPERATION IS 75% COMPLETE. THESE ELEVATIONS SHALL BE TAKEN AT POINTS OF CONNECTION, CHANGES IN DIRECTION AND AT MINIMUM 20' INTERVALS ALONG THE LENGTH OF THE PIPE. THESE ELEVATIONS SHALL BE RECORDED AS AS-BUILT DIMENSIONS ON A SITE PLAN FOR REVIEW BY THE PROJECT CIVIL ENGINEER.
  - ALL SANITARY LINES ARE TO BE FLUSHED PRIOR TO CONTRACTOR TURNOVER OF THE FACILITY.
  - CONTRACTOR TO VERIFY WITH UTILITY COMPANY FOR PROPER LOCATION OF TELECOMMUNICATION DROP. CONDUIT SHALL RUN FROM DROP TO IT ROOM.
  - CONTRACTOR TO COORDINATE WITH VERIZON FOR PROPOSED TELEPHONE SERVICE. SERVICE SHALL BE RUN IN UNDERGROUND CONDUITS.
  - CONTRACTOR TO COORDINATE WITH DATA SERVICE PROVIDERS FOR CONNECTION. ALL SERVICE TO BE RUN UNDERGROUND.

**LEGEND:**

● CO	CLEANOUT
— — — — —	UNDERGROUND STORM PIPE
— · — · — · —	UNDERGROUND PERFORATED STORM PIPE
— OHW —	OVERHEAD UTILITIES
• DS	DOWNSPOUT (ROOF COLLECTOR)
⊙	ROUND BASIN DRAIN W/ ATRIUM GRATE
⊙	STORM MANHOLE
• CO	STORM CLEANOUT



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Project: 501-503 STATION AVENUE  
 BLOCK 25, LOTS 16 & 17.01  
 HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY

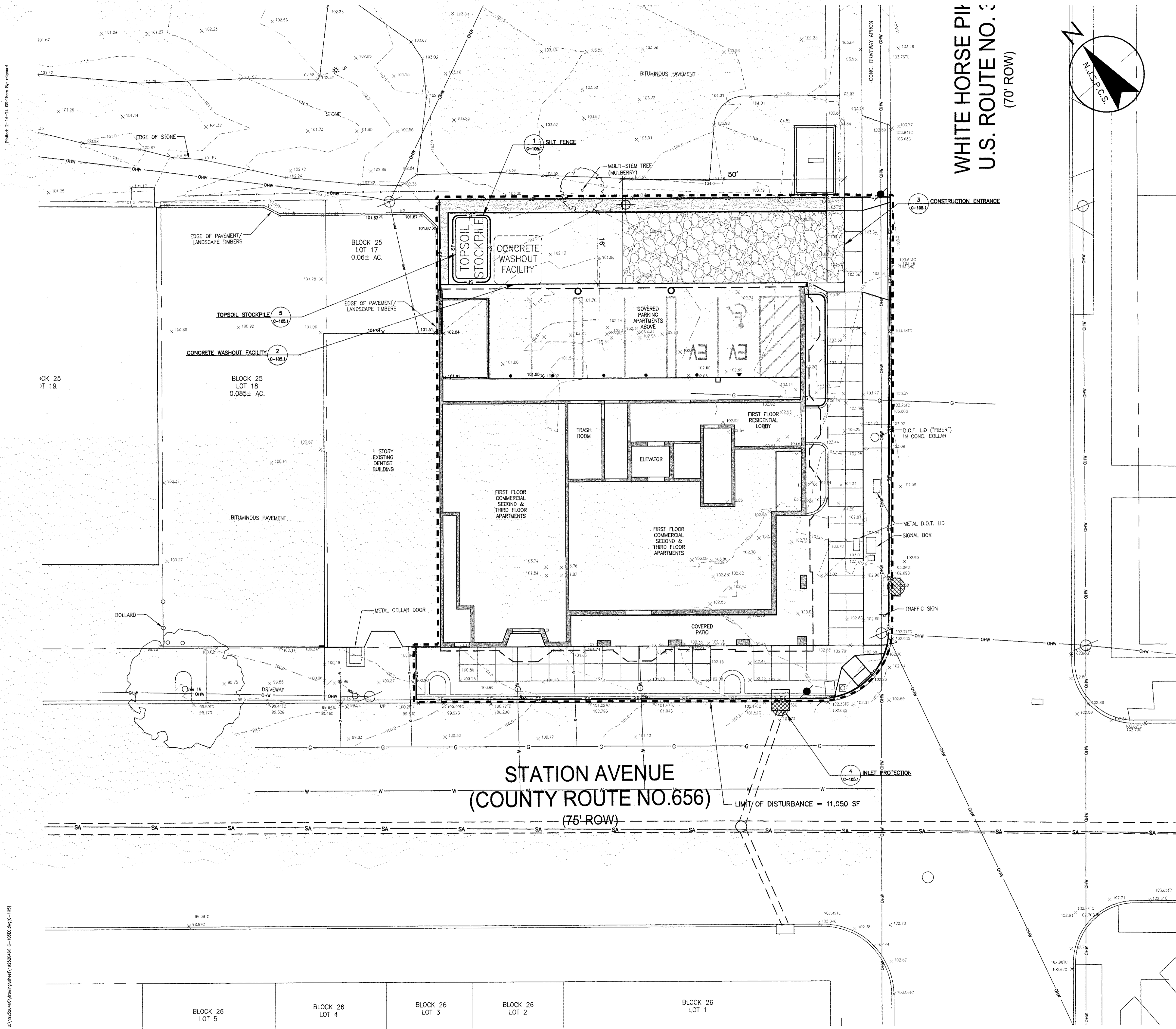
Client: BROKEN GROUND PROPERTIES LLC

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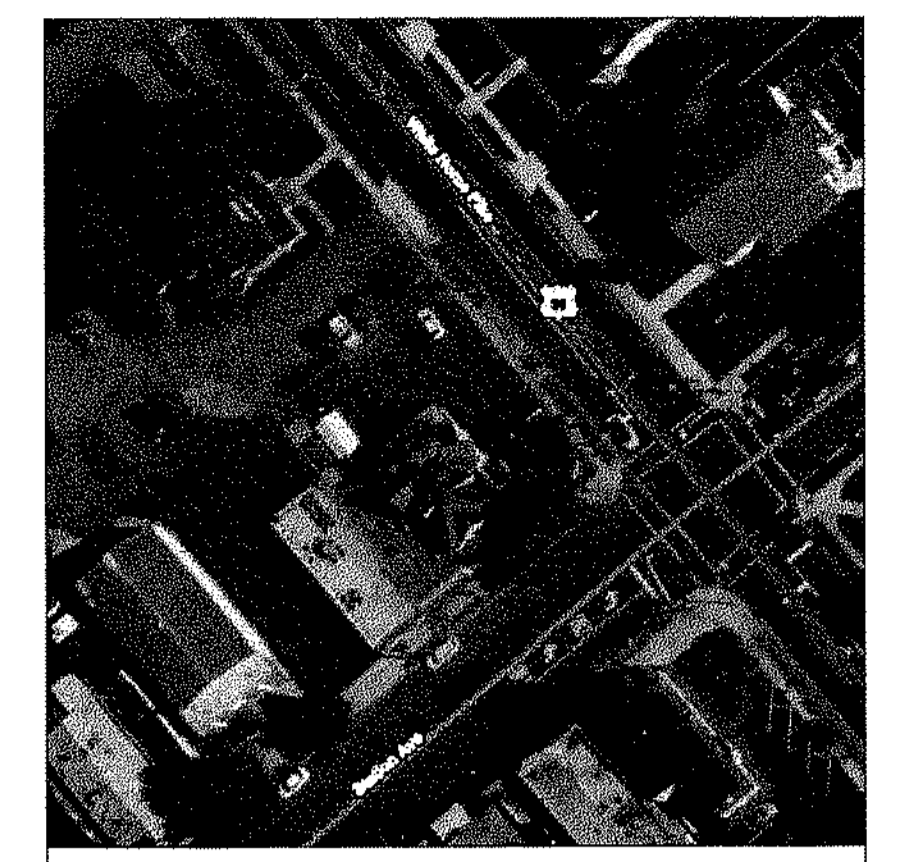
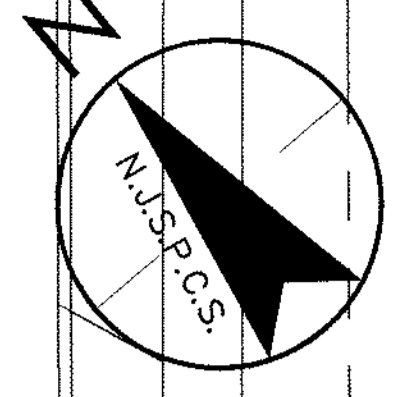
CLIFTON W. QUAY  
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 N.J.P.E. LICENSE #12870, N.J.P.P. LICENSE #106653

*CWQ* 2.13.24  
 DATE

Project Number:	152520466		
MAI	CWQ	SAK	02.13.24
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Scale: 1" = 10'			
Drawing No.	C-104		
Revision	Sheet		



WHITE HORSE PI  
U.S. ROUTE NO. 3  
(70' ROW)



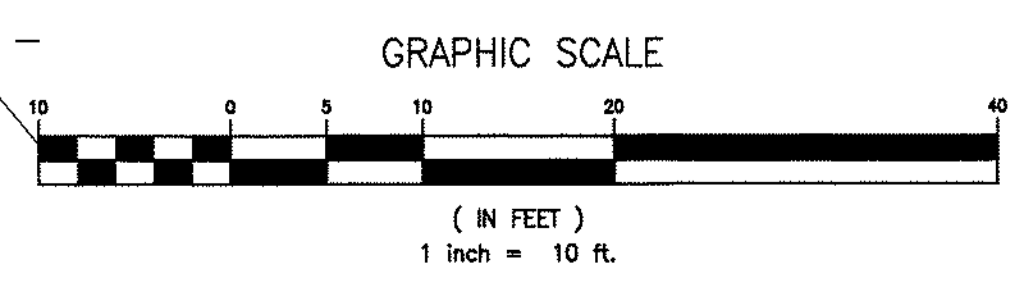
SOIL SURVEY MAP  
CAMDEN COUNTY, NEW JERSEY  
NOT TO SCALE

SOIL TYPE:  
FrPb  
Freehold-Downer-Urban land complex, 0 to 5 percent slopes

SOIL EROSION & SEDIMENT CONTROL LEGEND

- SF SILT FENCE
- INLET PROTECTION
- LIMIT OF DISTURBANCE
- CONCRETE WASHOUT FACILITY
- STABILIZED CONSTRUCTION ENTRANCE
- SOIL COMPACTION TESTING AREAS
- RECOMMENDED SOIL COMPACTION TEST LOCATION (1 PER 0.5 ACRE)

NOTE:  
AREA OF DISTURBANCE = 11,363 SF OR 0.261 ACRES



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Project: 501-503 STATION AVENUE  
BLOCK 25, LOTS 16 & 17.01  
HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY

Permit-Seal

Client: BROKEN GROUND PROPERTIES LLC  
Title: SOIL EROSION & SEDIMENT CONTROL PLAN

CLIFTON W. QUAY  
PROFESSIONAL ENGINEER, PROFESSIONAL PLANNER  
N.J.P.E. LICENSE #42670, N.J.P.P. LICENSE #105653

*CWQ* 2.13.24  
DATE

Project Number:	12520466		
MAI	CWQ	SAK	02.13.24
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Drawing No.	C-105		
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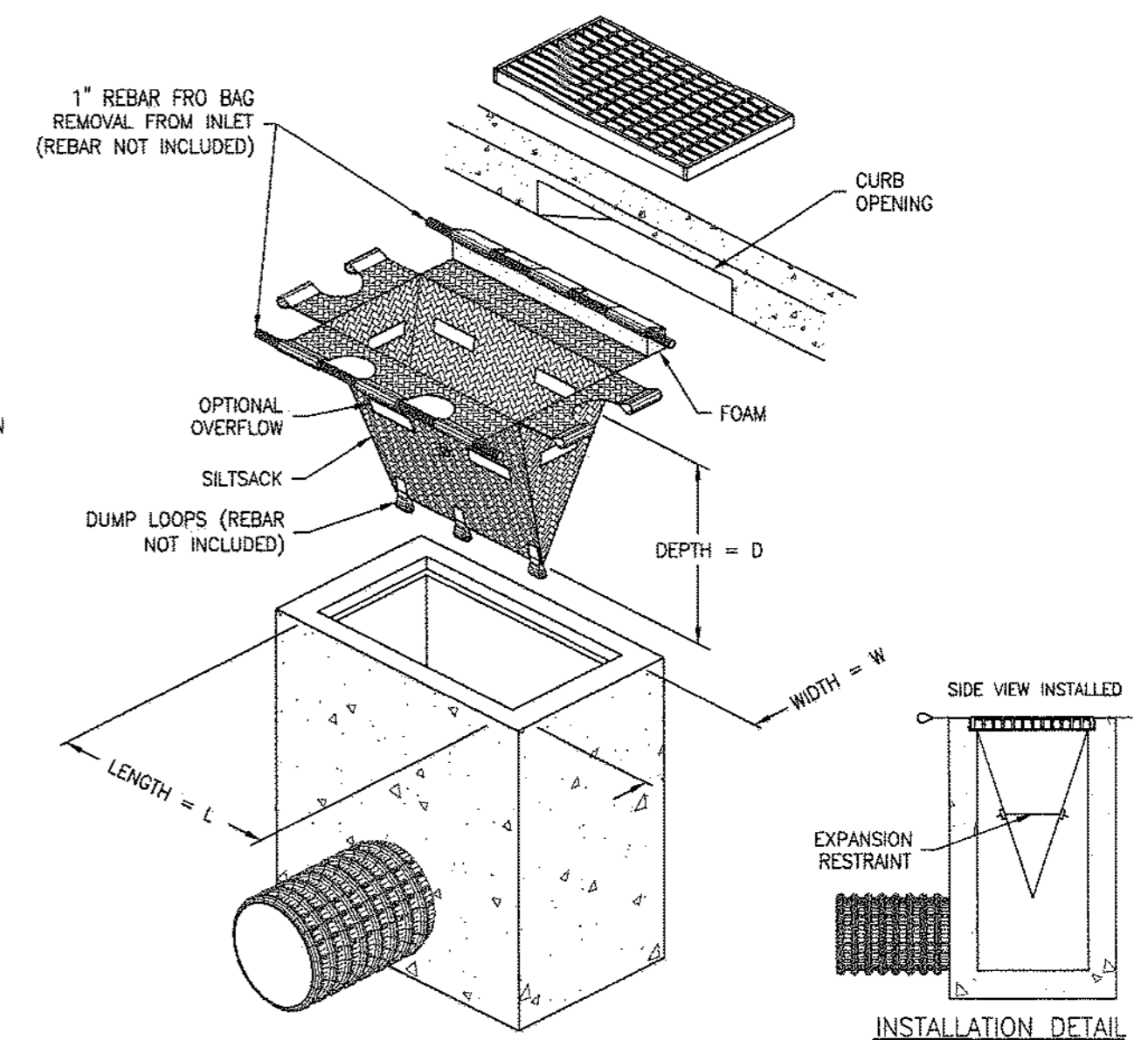
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**NOTES:**

1. TO INSTALL SILTSACK IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRONT. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
2. WHEN THE RESTRAINT CORD IS NO LONGER VISIBLE, SILTSACK IS FULL AND SHOULD BE EMPTIED.
3. TO REMOVE SILTSACK, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF SILTSACK.
4. TO EMPTY SILTSACK, PLACE IT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL TURN SILTSACK INSIDE OUT AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN SILTSACK TO ITS ORIGINAL SHAPE AND PLACE BACK IN THE BASIN.
5. SILTSACK IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE SILTSACK FROM THE BASIN AND CLEAN. SILTSACK SHOULD BE STORED OUT OF THE SUNLIGHT UNTIL NEEDED ON ANOTHER PROJECT.
6. SILTSACK SEDIMENT CONTROL DEVICE IS MANUFACTURED BY AC-90 ENVIRONMENTAL, RICHMOND, VA (800) 448-3636.



**REGULAR FLOW SILTSACK**  
 (FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

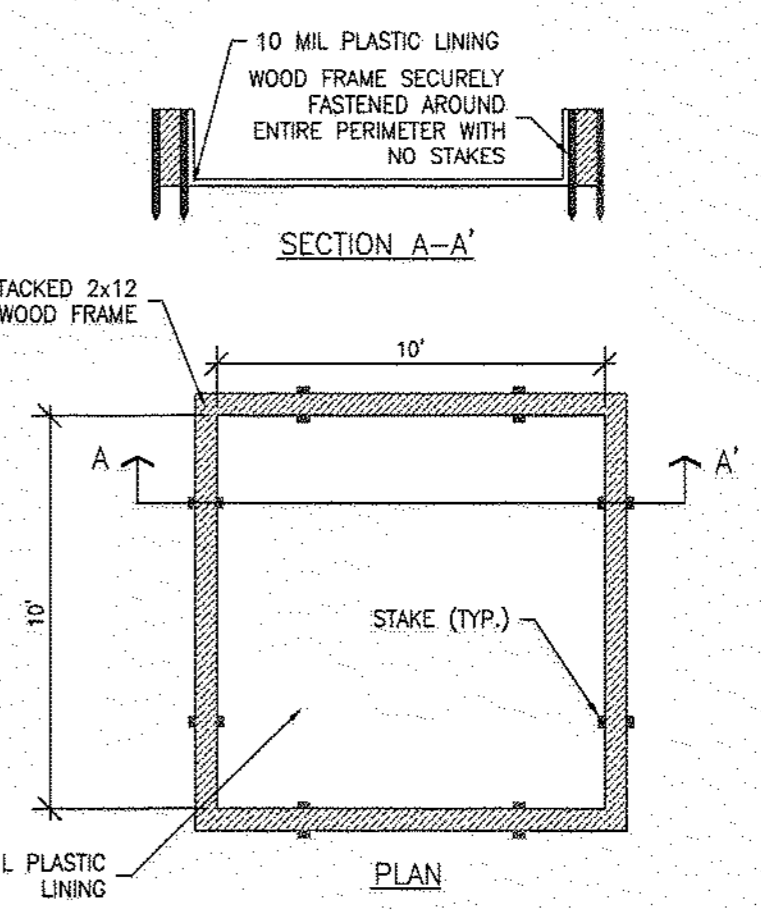
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4633	1200 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
L.V. RESISTANCE	ASTM D-4434	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/50 FT
PERMEABILITY	ASTM D-4491	0.55 SEC -1

**3 INLET PROTECTION**  
 C-105.2 NOT TO SCALE

**TEMPORARY CONCRETE WASHOUT FACILITY NOTES:**

1. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE LOCATED A MINIMUM OF 15M (50 FT) FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHALL BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
2. A SIGN SHALL BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
3. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. THE LENGTH AND WIDTH OF THE FACILITY MAY BE INCREASED AS NEEDED.
4. TEMPORARY WASHOUT FACILITIES SHALL HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES.
5. PERFORM WASHOUT OF CONCRETE UNDER TRACKS IN DESIGNATED AREAS ONLY.
6. ONLY CONCRETE FROM WHEEL TRUCK CHUTES INTO APPROVED CONCRETE WASHOUT FACILITY. WASHOUT MAY BE COLLECTED IN AN IMPERMEABLE BAG FOR DISPOSAL.
7. PUMP EXCESS CONCRETE INTO CONCRETE PUMP BIN BACK INTO CONCRETE WAGON TRUCK.
8. CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OFFSITE.
9. ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHALL BE BROKEN UP, REMOVED AND DISPOSED OF PROPERLY.

- NOTE:**
1. ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
  2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT OF THE TEMPORARY WASHOUT FACILITY.
  3. PLASTIC LINING MATERIAL SHALL BE A MINIMUM OF 10-MIL POLYETHYLENE SHEETING AND SHALL BE FREE OF HOLES, TEARS OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.



- REPAIRS OF TEMPORARY CONCRETE WASHOUT FACILITIES:**
1. WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF PROPERLY. DISPOSAL OF SLURRIES OR LIQUID WASTE SHALL BE DISPOSED OF OFFSITE EITHER TO A PERMITTED TREATMENT FACILITY OR BACK TO THE MIX PLANT.
  2. THE CONTRACTOR'S WATER POLLUTION CONTROL MANAGER (WPCM) SHALL MONITOR ON SITE CONCRETE WASTE STORAGE AND DISPOSAL PROCEDURES AT LEAST WEEKLY OR AS DIRECTED BY THE ICE.
  3. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FRESHWATER OF 120 MM (4 INCHES) FOR ABOVE GROUND FACILITIES AND 300 MM (12 INCHES) FOR BELOW GROUND FACILITIES. MAINTAINING TEMPORARY CONCRETE WASHOUT FACILITIES SHALL INCLUDE REMOVING AND DISPOSING OF HARDENED CONCRETE AND LIQUID WASTE AND RETURNING THE FACILITIES TO A FUNCTIONAL CONDITION.
  4. EXISTING FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.
  5. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED WEEKLY FOR DAMAGE (I.E. TEARS IN THE PVC LINER, MISSING SAND BAGS, ETC.). DAMAGED FACILITIES SHALL BE REPAIRED.
- STATEWIDE STORM PERMITTING PROGRAM NOTES:**
1. CONCRETE TRUCK WASHOUT AREAS WILL BE MAINTAINED ON A CONTINUAL BASIS AND AS NEEDED.
  2. THE STORMWATER POLLUTION PREVENTION PLAN AND THE SPILL RESPONSE PLAN SHALL BE AVAILABLE ON SITE FOR REVIEW BY THE SED INSPECTOR AND/OR THE MUDPER INSPECTOR.
  3. THE SED INSPECTOR OR MUDPER INSPECTOR MAY REQUIRE ADDITIONAL MEASURES FOR STORMWATER POLLUTION PREVENTION TO BE IMPLEMENTED.
  4. INSPECTIONS OF ALL STORMWATER POLLUTION PREVENTION PLAN MEASURES WILL BE CONDUCTED AND DOCUMENTED ON A REGULAR BASIS AND AFTER ADJUT STORM EVENTS.
  5. WASTE COLLECTION CONTAINERS WILL NOT BE PERMITTED TO OVERFLOW.
  6. ANY SPILLS OF HAZARDOUS OR DANGEROUS MATERIALS WILL BE CLEANED UP IMMEDIATELY, AND IN ACCORDANCE WITH THE SPILL RESPONSE PLAN. SPILL KITS MUST BE AVAILABLE ON SITE OR ADJACENT TO THE SITE.
  7. ANY HAZARDOUS SUBSTANCE RELEASES IN EXCESS OF REPORTABLE QUANTITIES (RQ) ESTABLISHED UNDER 40 C.F.R. 110.117 AND 302 THAT OCCUR WITHIN A 24 HOUR PERIOD MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER (800-424-8802).
  8. NO VEHICLE MAINTENANCE SHALL BE PERFORMED ON SITE.
  9. ANY CHEMICALS TO BE STORED ON SITE DURING CONSTRUCTION SHALL BE STORED AS TO ENSURE NO CONTAMINATION OF THE GROUND OR WATER.
  10. CONTRACTOR IS REQUIRED TO DEVELOP AN ITINERATED SPILL RESPONSE PLAN IN CONFORMANCE WITH APPLICABLE DEP REQUIREMENTS. THE SPILL RESPONSE PLAN SHALL BE AVAILABLE ON SITE.
  11. CONTRACTOR IS RESPONSIBLE FOR CONDUCTING WEEKLY SITE INSPECTIONS AND AFTER A RAIN EVENT PER THE NEW JERSEY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) INSPECTION AND MONITORING PROGRAM. THE INSPECTIONS WILL BE CONDUCTED AT THE BEST MANAGEMENT PRACTICE (BMP) PERFORMANCE DURING THE CONSTRUCTION PROJECT. BMP'S SHALL BE EVALUATED FOR PROPER INSTALLATION AND FUNCTIONING AND WHETHER ADDITIONAL MEASURES ARE REQUIRED DURING CONSTRUCTION. WEEKLY INSPECTION LOGS TO BE DOCUMENTED ON THE 'SWPPP CHECKLIST AND INSPECTION FORM'. INSPECTION REPORTS SHALL BE KEPT ON SITE.

**2 CONCRETE WASHOUT FACILITY**  
 C-105.2 NOT TO SCALE

**PROCEDURES FOR SOIL COMPACTION MITIGATION**

1. PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAYBE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

**SOIL COMPACTION MITIGATION NOTES**

1. PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.
3. SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE 6" MINIMUM DEPTH) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

**COMPACTION TESTING METHODS**

- A. PROBING WIRE TEST (SEE DETAIL 6/C-105.1)
- B. HAND-HELD PENETROMETER TEST (SEE DETAIL 6/C-105.1)
- C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

**NOTE:** ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE 6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

**SOIL COMPACTION TESTING REQUIREMENTS**

1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOILEROSION CONTROL PLAN. SEE EXAMPLE SITE PLAN AT: [HTTP://WWW.NJ.GOV/AGRICULTURE/DIVISIONS/ANR/NRC/NJEROSION.HTML](http://www.nj.gov/agriculture/divisions/anr/nrc/njerosion.html)
3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE SOIL COMPACTION MITIGATION VERIFICATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT OR [HTTP://WWW.NJ.GOV/AGRICULTURE/DIVISIONS/ANR/NRC/NJEROSION.HTML](http://www.nj.gov/agriculture/divisions/anr/nrc/njerosion.html). THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXCEPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION, WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

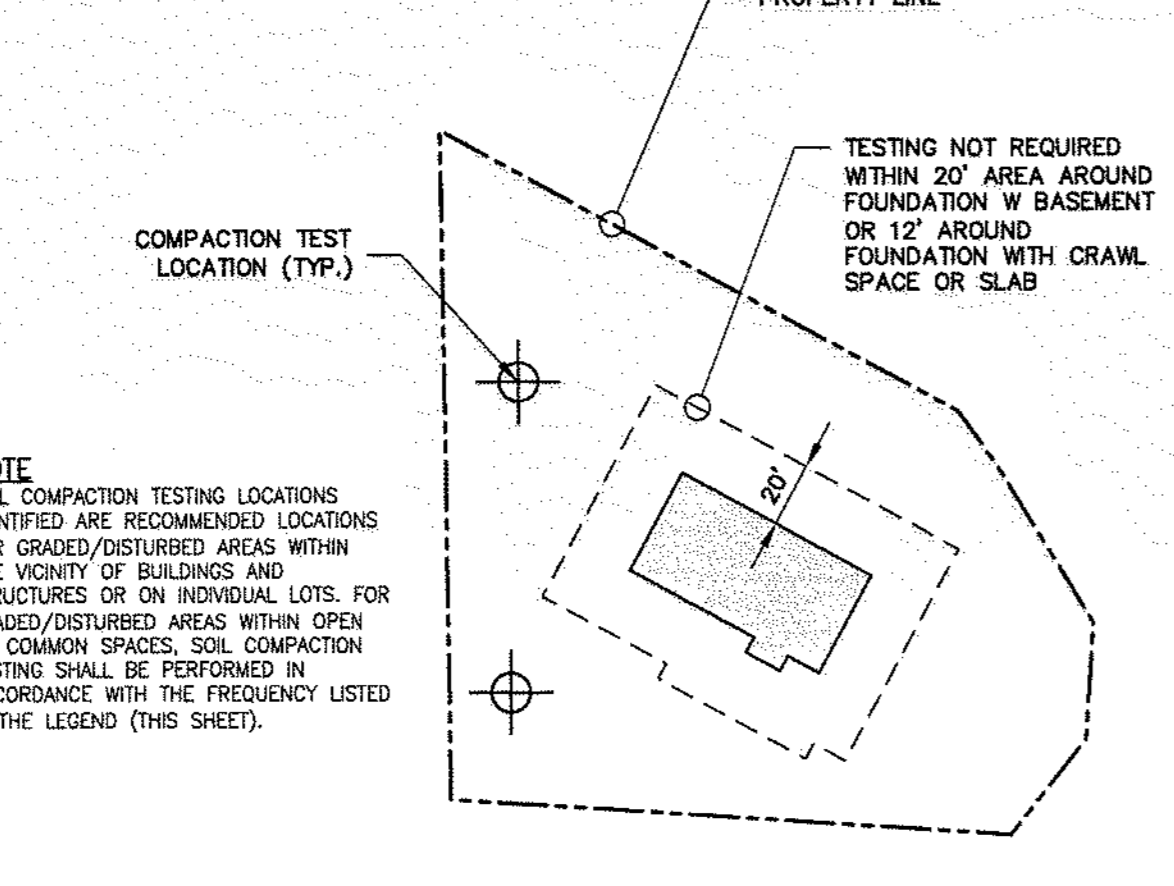
**TOP SOILING NOTES**

1. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE.
2. A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5" (MINIMUM 4") FIRMED IN PLACE IS REQUIRED.
3. PURSUANT TO THE REQUIREMENTS IN SECTION 7 OF THE STANDARD FOR PERMANENT VEGETATIVE STABILIZATION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT PERMANENT VEGETATIVE COVER BECOMES ESTABLISHED ON AT LEAST 80% OF THE SOILS TO BE STABILIZED WITH VEGETATION. FAILURE TO ACHIEVE THE MINIMUM COVERAGE MAY REQUIRE ADDITIONAL WORK TO BE PERFORMED.

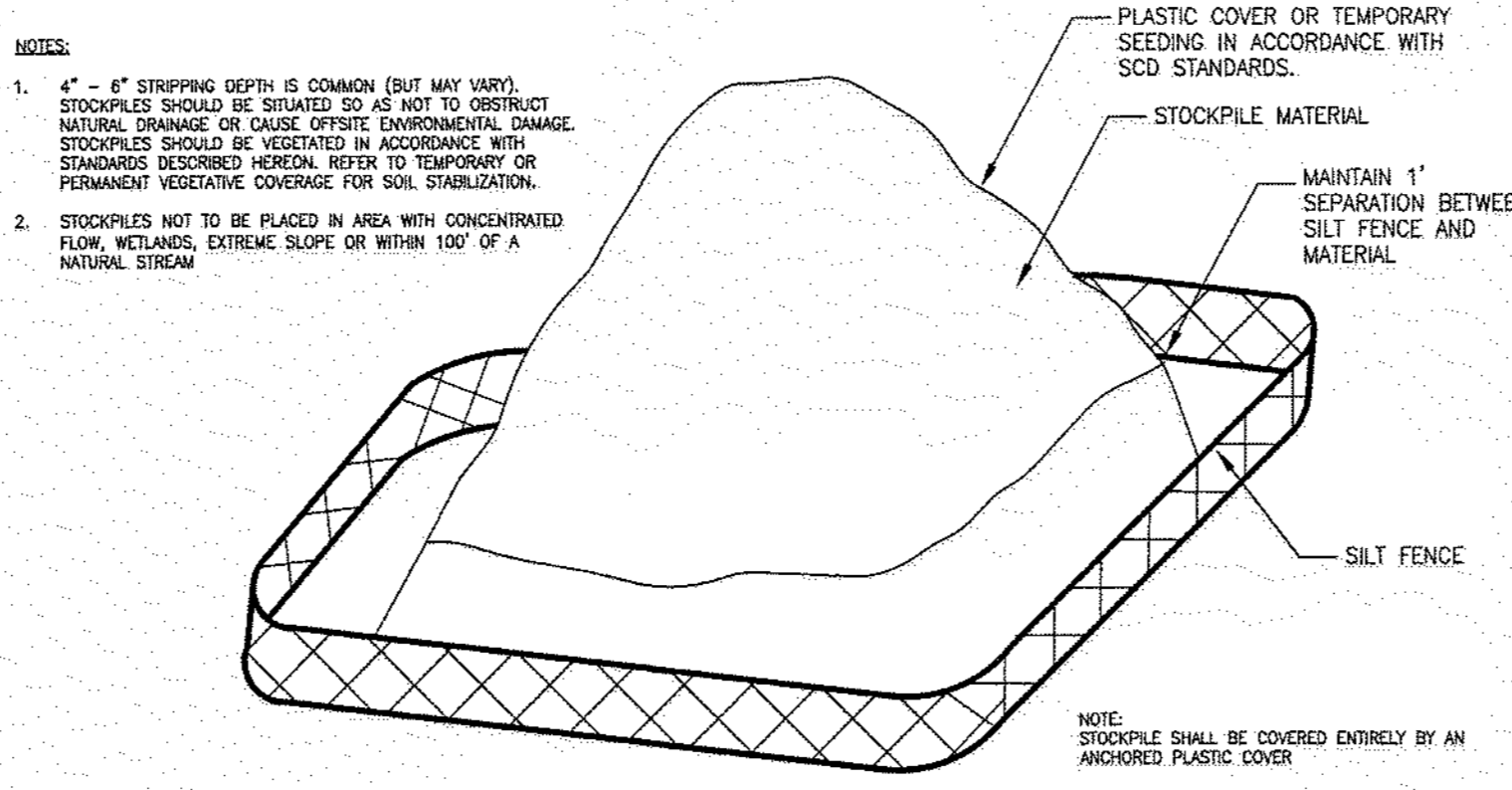
**ADDITIONAL NOTES FOR PROJECTS WITH BASINS**

1. BASIN MUST BE PROPERLY CONSTRUCTED AND PERMANENTLY STABILIZED, AND CONDUIT OUTLET PROTECTION INSTALLED, PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
2. THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL HAVE SPECIFIC REQUIREMENTS FOR TOPSOILING, THE INSTALLATION OF SOD, TEMPORARY AND/OR PERMANENT VEGETATIVE COVER AND LAND GRADING. THE TEXT FOUND ON PAGES 4-1 (SEC. 19), 6-2 (SEC. 2D), 7-1 (SEC. 1C) 8-2 (SEC. 3D) AND 19-4 (SECOND TO LAST SECTION) SERVE TO HELP MINIMIZE SOIL COMPACTION AND REDUCE MAINTENANCE.
3. ENTRY RESPONSIBLE FOR OVERALL MAINTENANCE OF THE STORMWATER MANAGEMENT MEASURE DURING AND AFTER CONSTRUCTION ON THE PLAN:

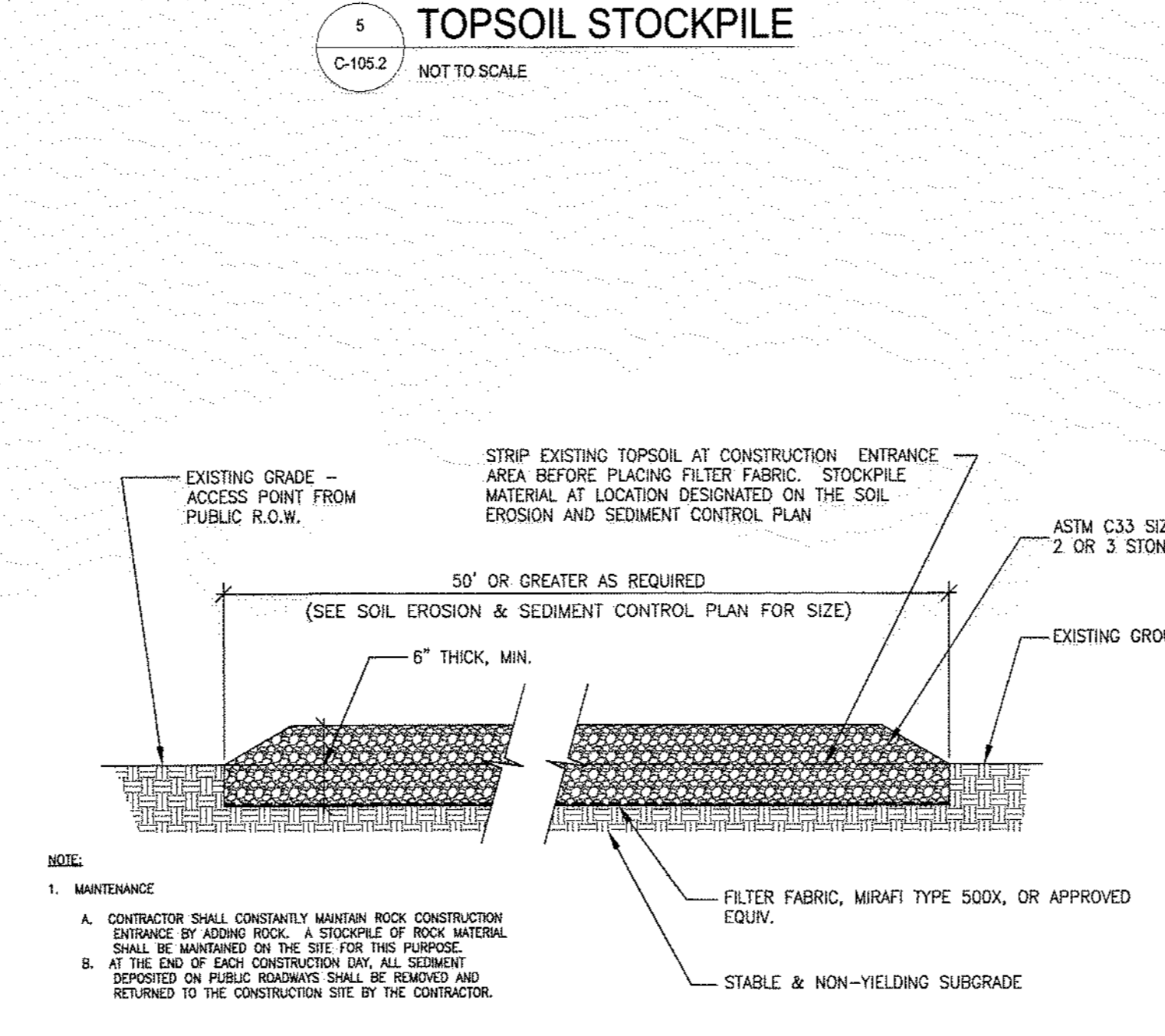
EVERGREEN ENERGY SOLUTIONS  
 1485 LANES MILL ROAD  
 LAWENWOOD, NJ 08701  
 (732) 592-5111



**6 SIMPLIFIED COMPACTION TESTING METHODS**  
 C-105.2 NOT TO SCALE



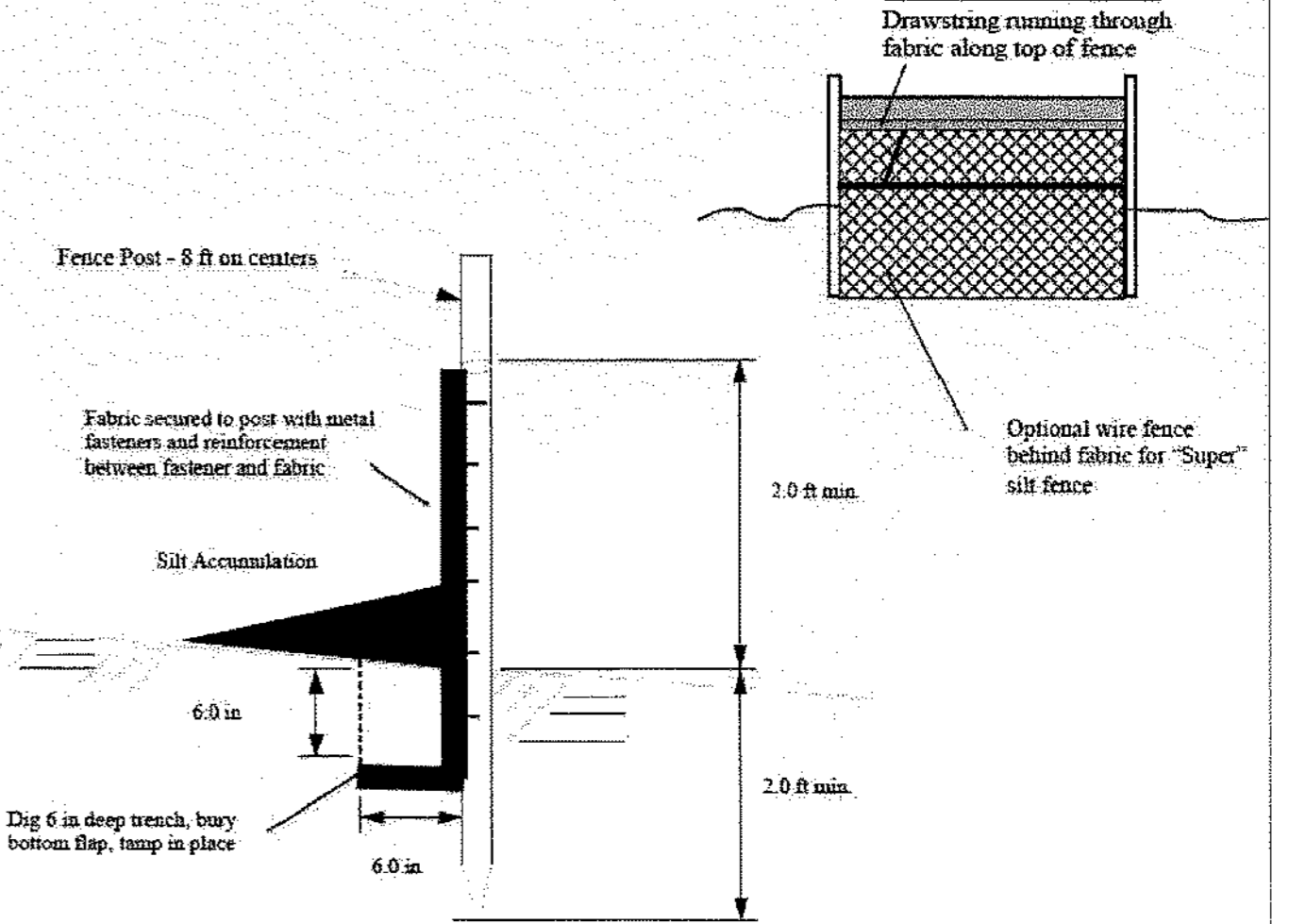
**5 TOPSOIL STOCKPILE**  
 C-105.2 NOT TO SCALE



**4 STABILIZED CONSTRUCTION ENTRANCE**  
 C-105.2 NOT TO SCALE

**NOTE:**

1. FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POST SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1 1/2 INCHES.
2. "SUPER" SILT FENCE - A METAL FENCE WITH 6 INCH OR SMALLER MESH OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC. POSTS MAY BE SPACED LESS THAN 8 FEET ON CENTER AND MAY BE CONSTRUCTED OF HEAVIER WOOD OR METAL AS NEEDED TO WITHSTAND HEAVIER SEDIMENT LOADINGS. THIS PRACTICE IS APPROPRIATE WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED. "SUPER" SILT FENCE IS NOT TO BE USED IN PLACE OF PROPERLY DESIGNED OVERSIZES (POL-15-1) WHICH MAY BE NEEDED TO CONTROL SURFACE RUNOFF RATES AND VELOCITIES.
3. A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBSING, GROMMETS, WASHERS ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR ADDED STRENGTH.
4. SEDIMENT SHALL BE REMOVED FROM THE UPSTREAM FACE OF THE BARRIER WHEN IT HAS REACHED A DEPTH OF 1/2 THE BARRIER HEIGHT.
5. REPAIR OR REPLACE BARRIER (FABRIC, POSTS, BALES ETC.) WHEN DAMAGED.
6. BARRIERS SHALL BE INSPECTED DAILY FOR SIGNS OF DEGRADATION AND SEDIMENT REMOVAL.



**1 SILT FENCE**  
 C-105.2 NOT TO SCALE

Project: 504-503 STATION AVENUE  
 BLOCK 25, LOTS 16 & 17.01  
 HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY  
 Client: BROKEN GROUND PROPERTIES LLC  
 Title: SOIL EROSION & SEDIMENT CONTROL DETAILS  
 Permit-Szal

**CLIFTON W. QUAY**  
 PROFESSIONAL ENGINEER, PROFESSIONAL PLANNER  
 N.J.P.E. LICENSE #42670, N.J.P.P. LICENSE #L05953

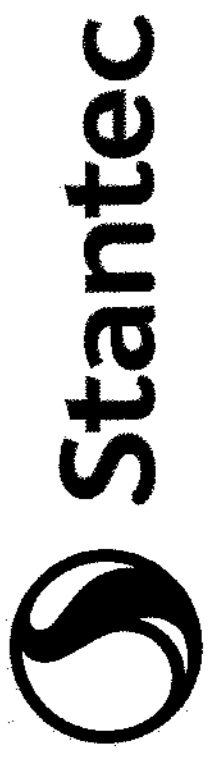
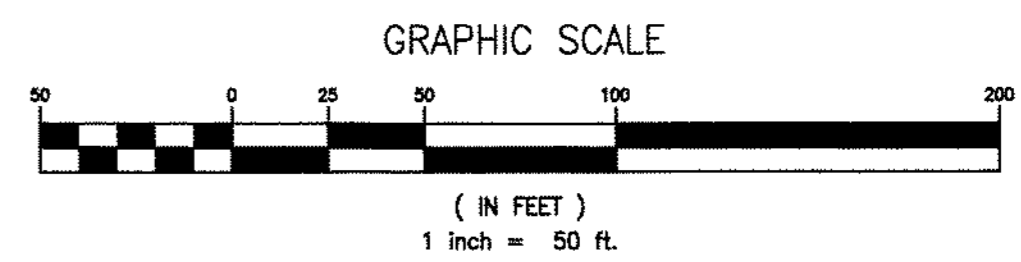
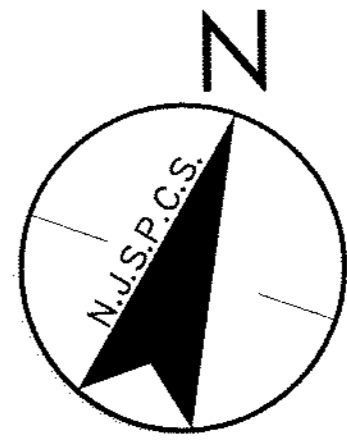
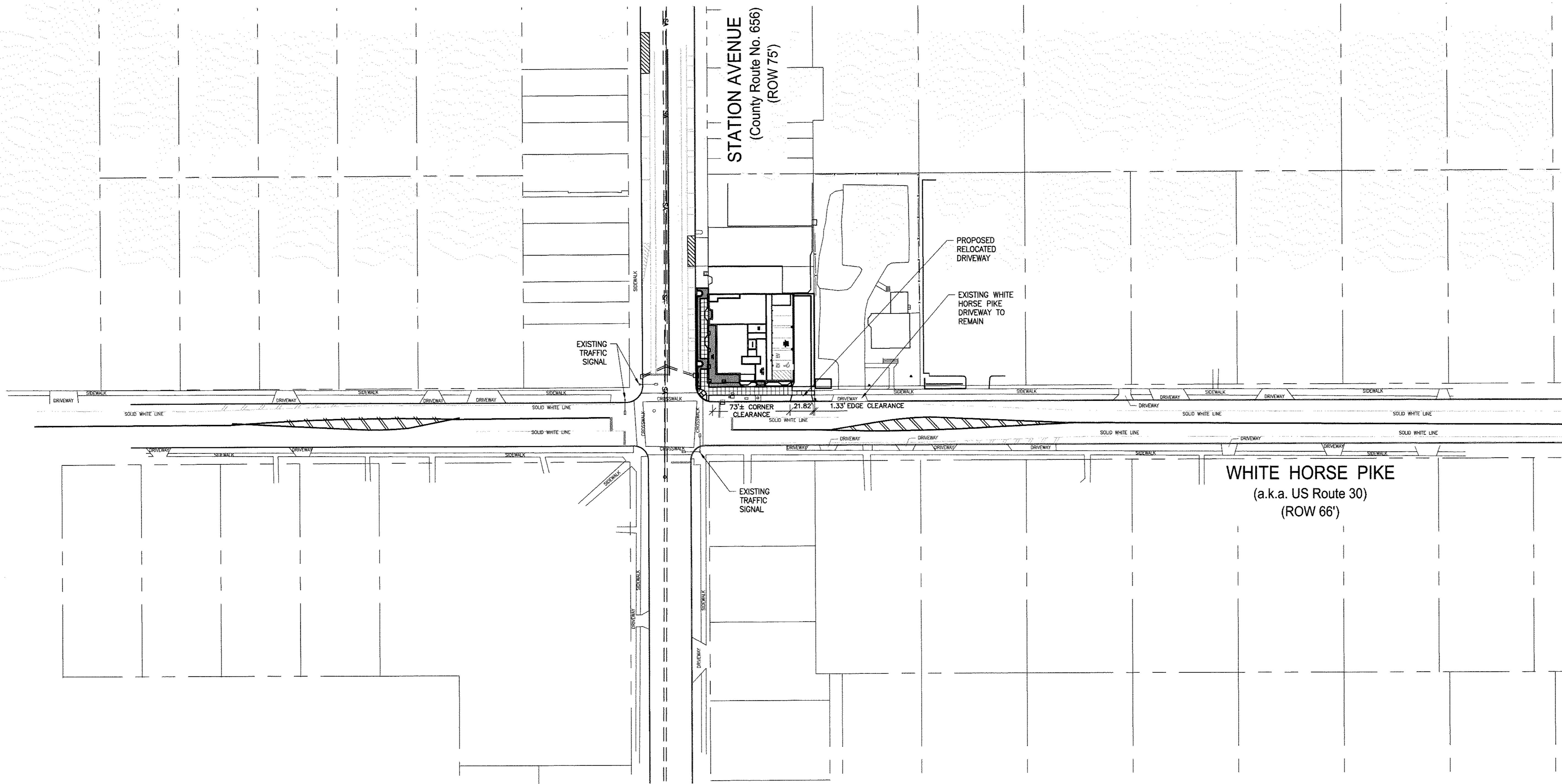
*(Signature)*  
 DATE

Project Number: 192520468

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Dwn	Chkd	Dgns	MM/DD/YY

Scale: AS NOTED  
 Drawing No. C-105.2  
 Revision Sheet





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Revision	By	Appd.	MM.DD.YY

Project: 501-503 STATION AVENUE  
 BLOCK 25 LOTS 16 & 17.01  
 HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY

Client: BROKEN GROUND PROPERTIES LLC

Title: ACCESS PERMIT SITE PLAN

Permit-Seal

CLIFTON W. QUAY  
 PROFESSIONAL ENGINEER, PROFESSIONAL PLANNER  
 N.J.P.E. LICENSE #42670, N.J.P.P. LICENSE #105663

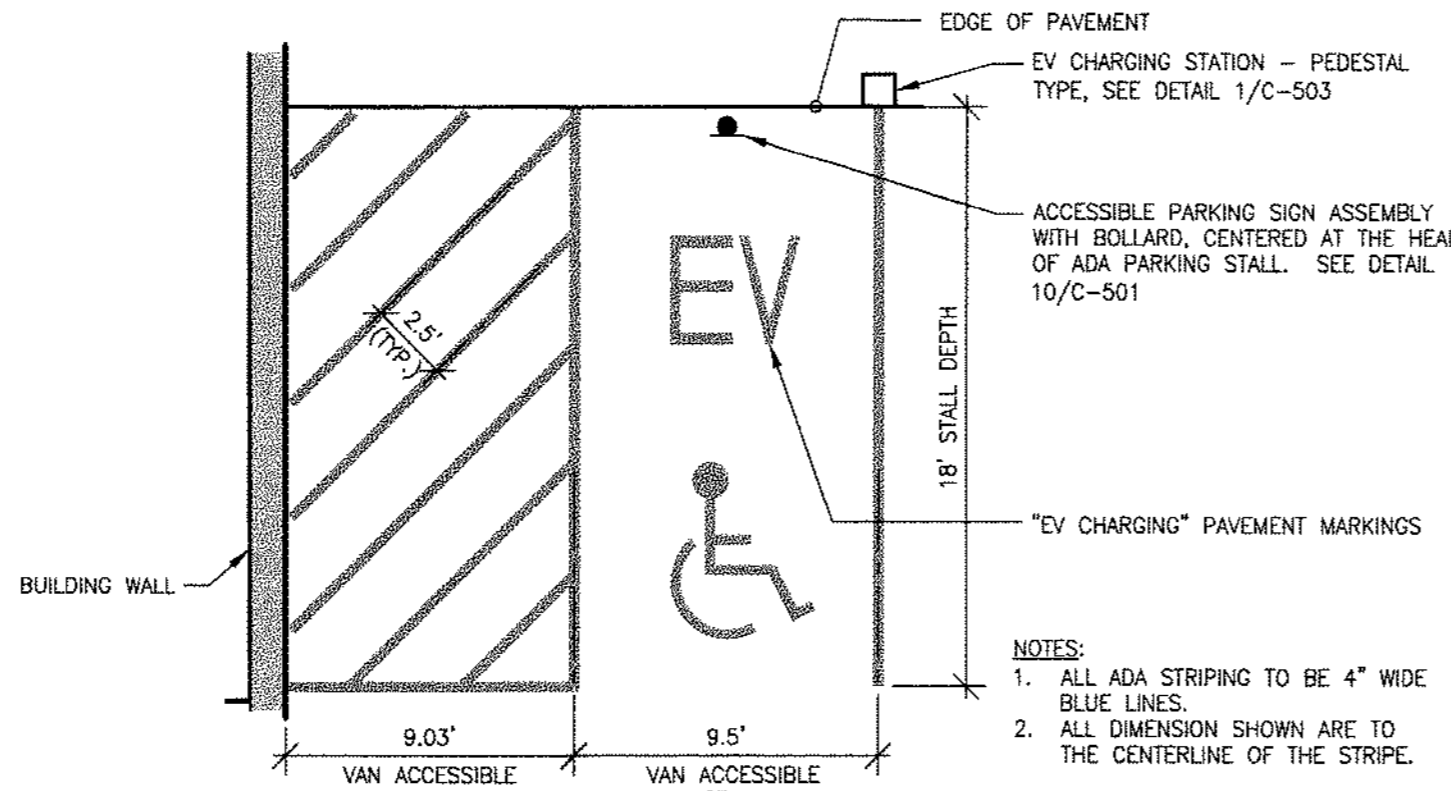
*Clifton W. Quay*  
 2-13-24  
 DATE

Project Number: 192520466

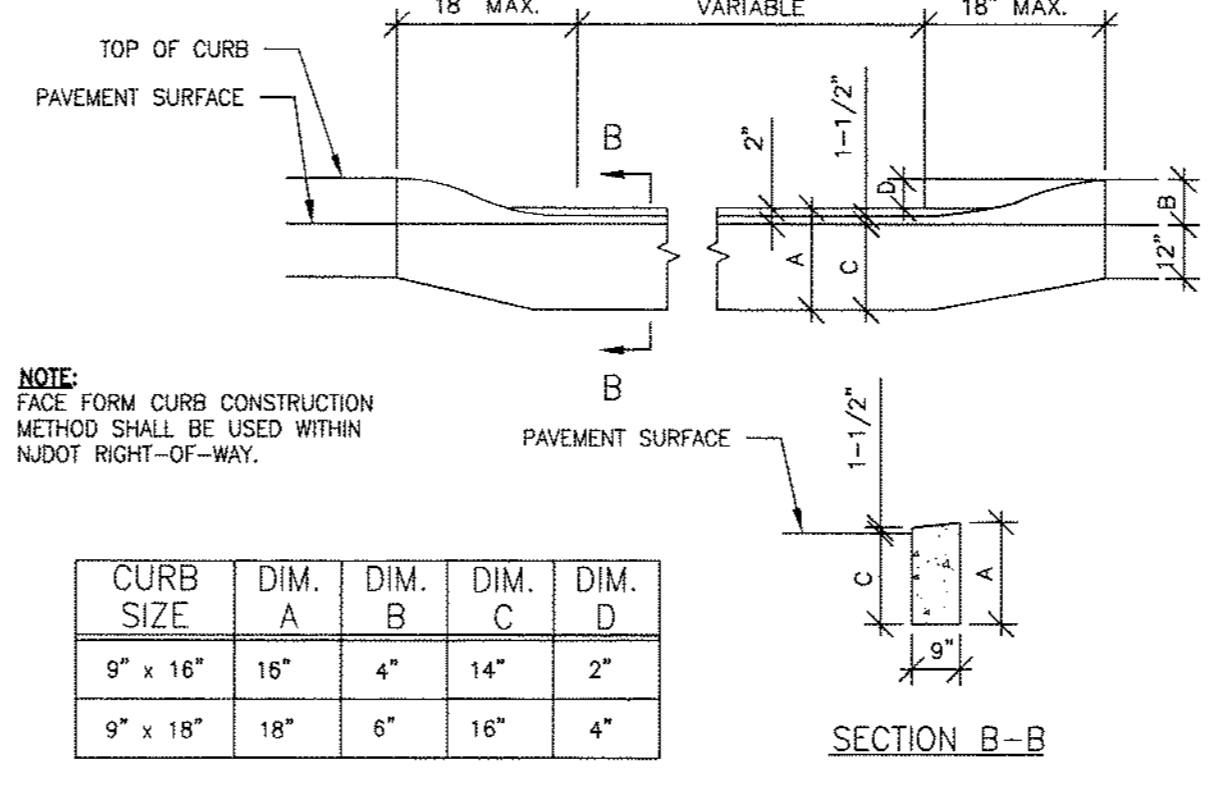
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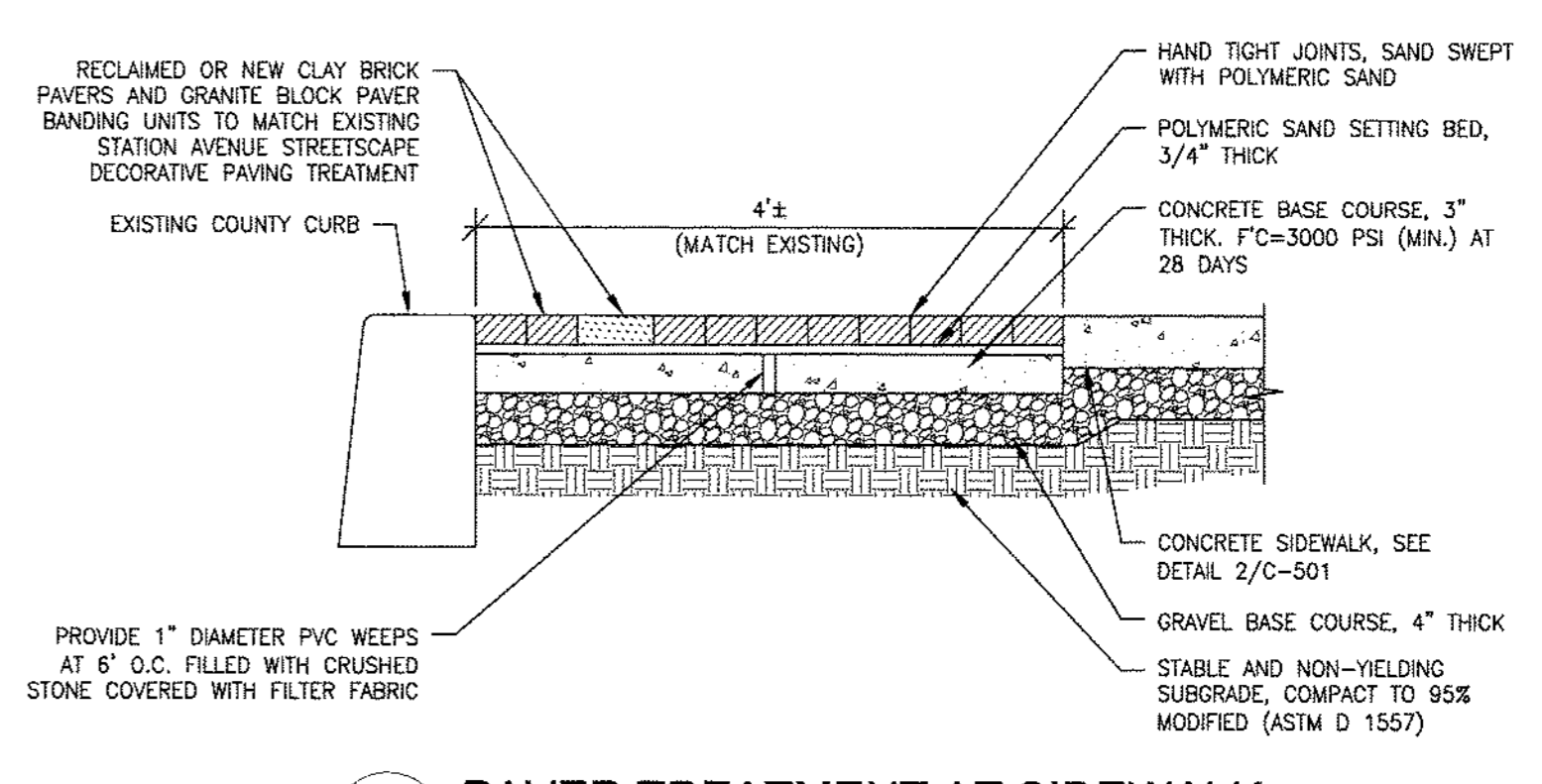
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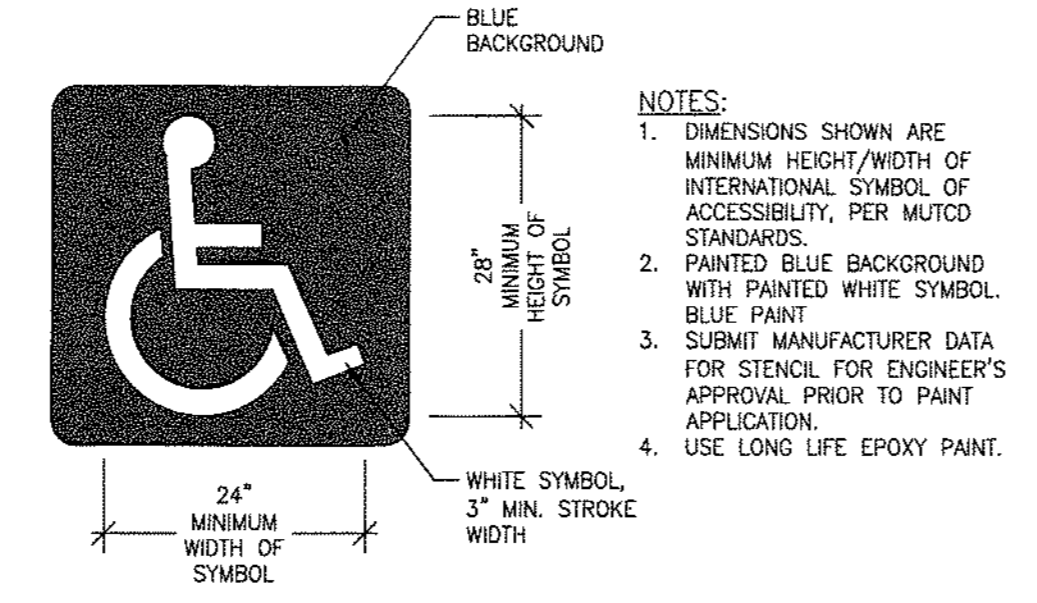
12 ADA PARKING STALL PAVEMENT MARKINGS  
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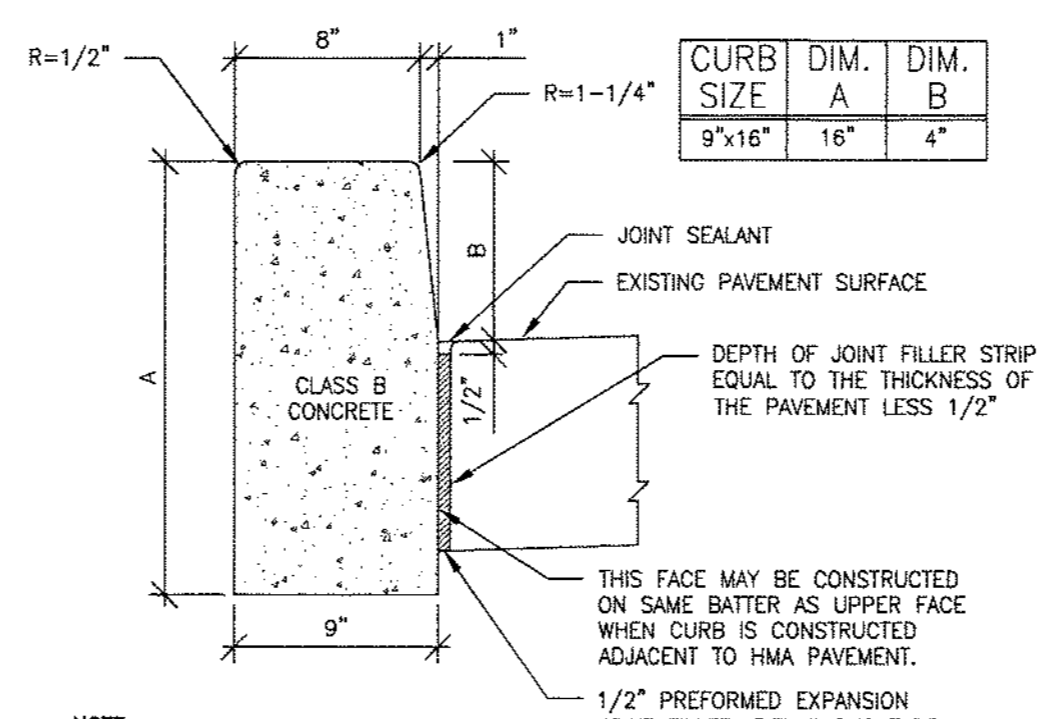
8 DEPRESSED CONCRETE CURB (STATE)  
C-501 NOT TO SCALE



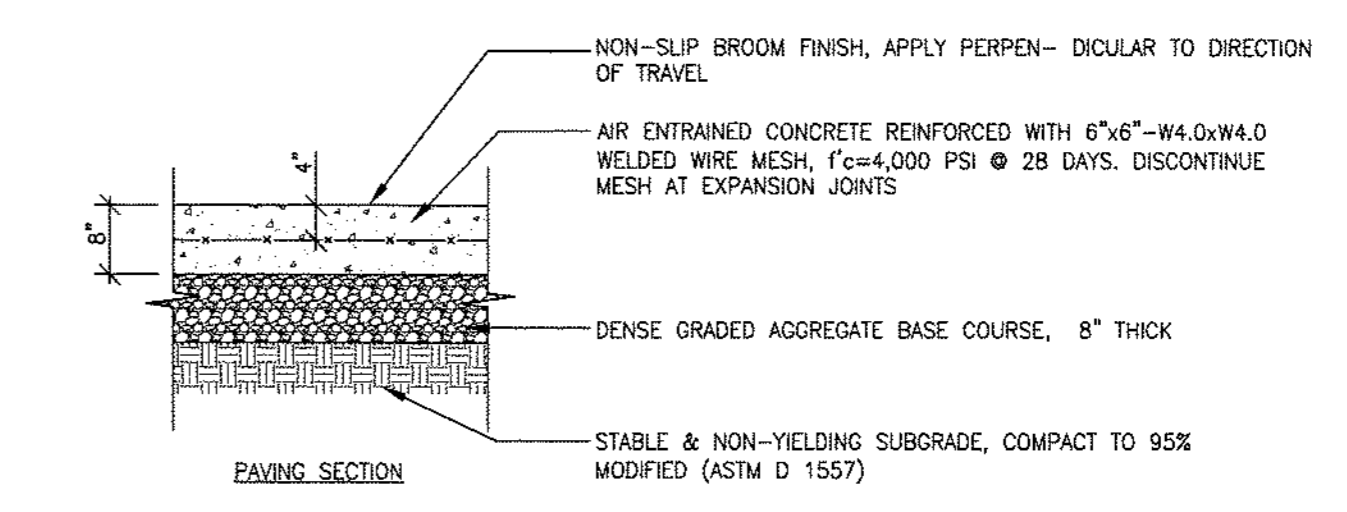
4 PAVER TREATMENT AT SIDEWALK  
C-501 NOT TO SCALE



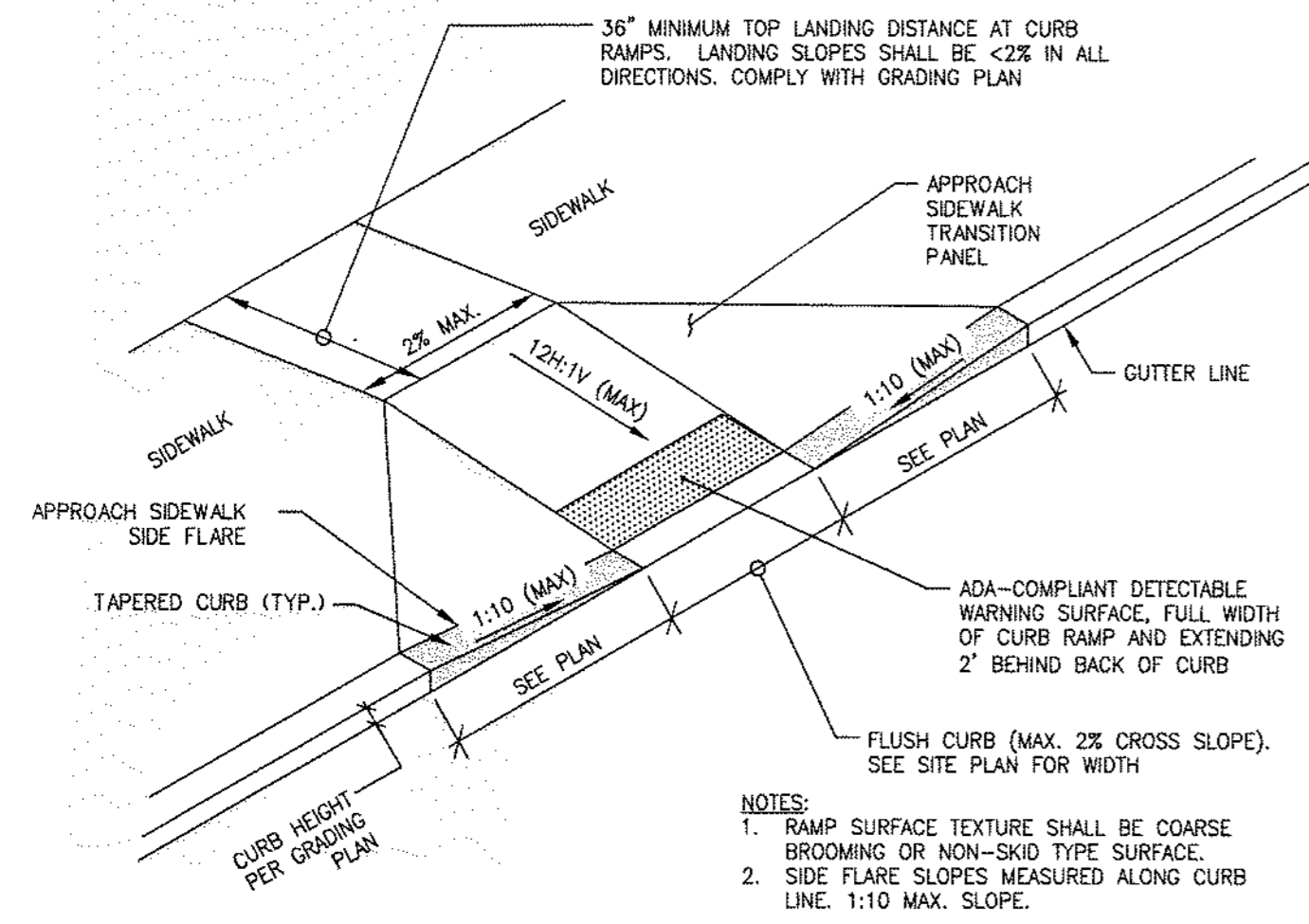
11 ADA PAVEMENT MARKING SYMBOL  
C-501 NOT TO SCALE



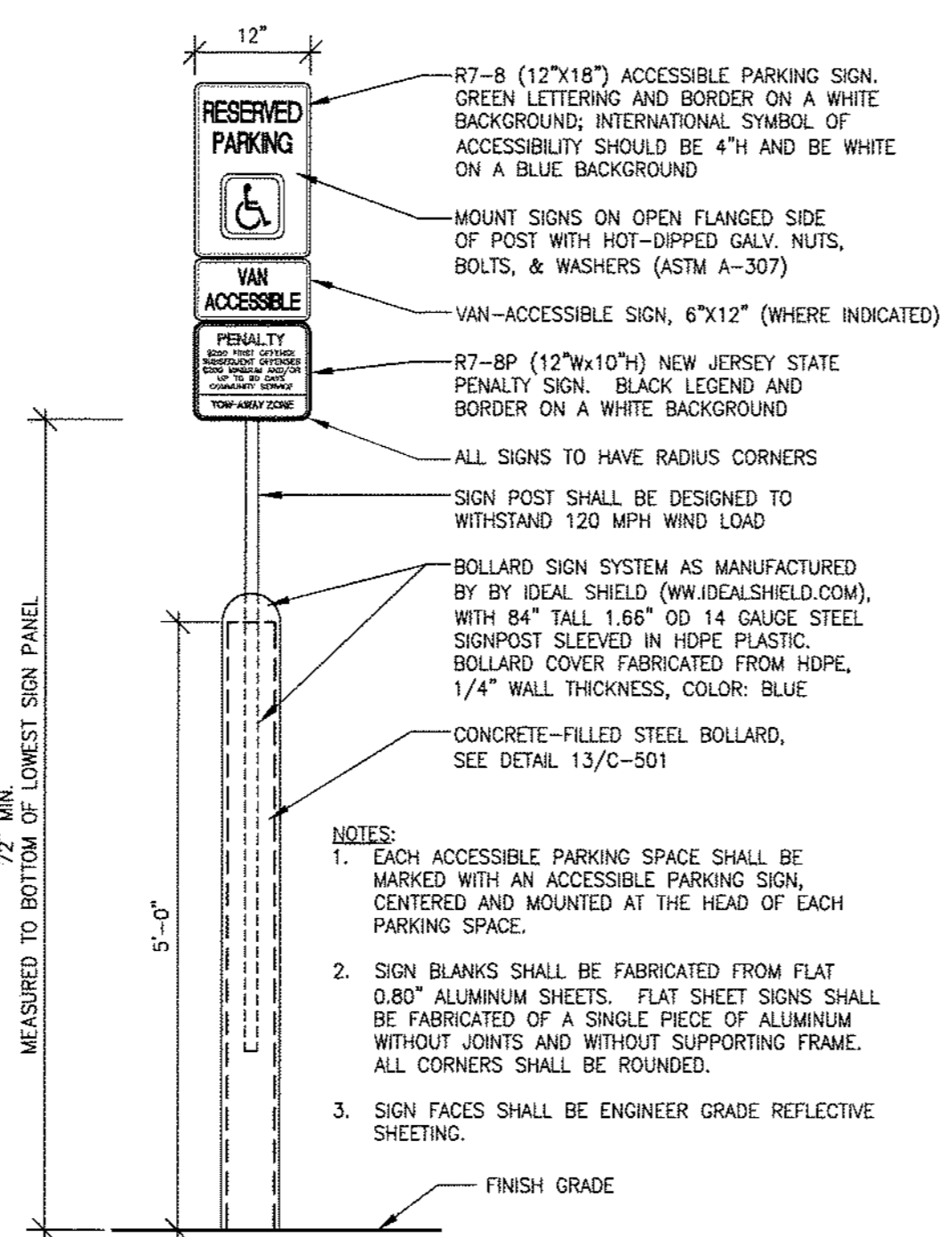
7 CONCRETE CURB (STATE)  
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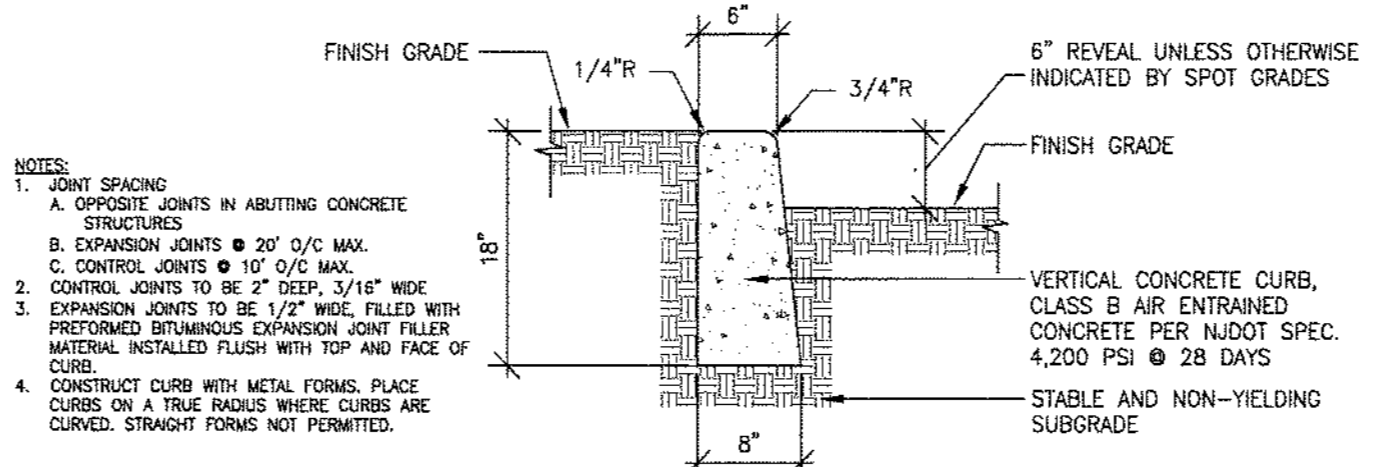
3 HEAVY DUTY CONCRETE PAVING  
C-501 NOT TO SCALE



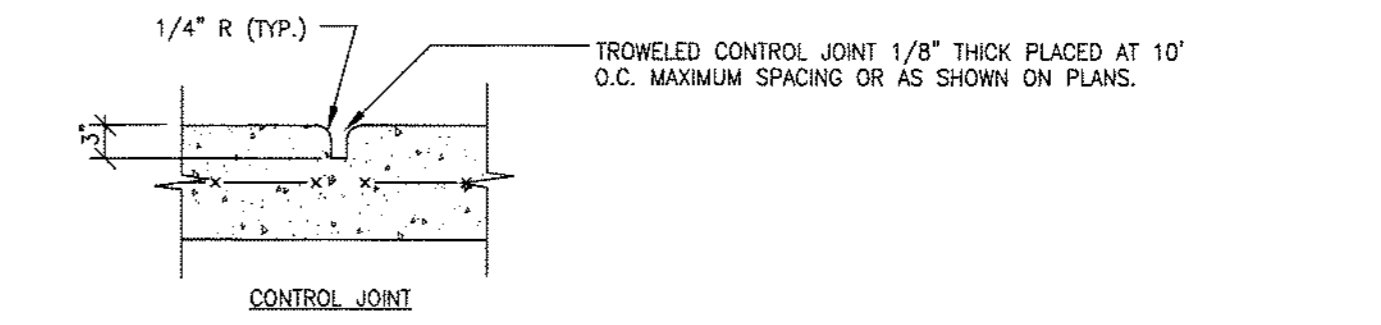
14 CURB RAMP - PERPENDICULAR  
C-501 NOT TO SCALE



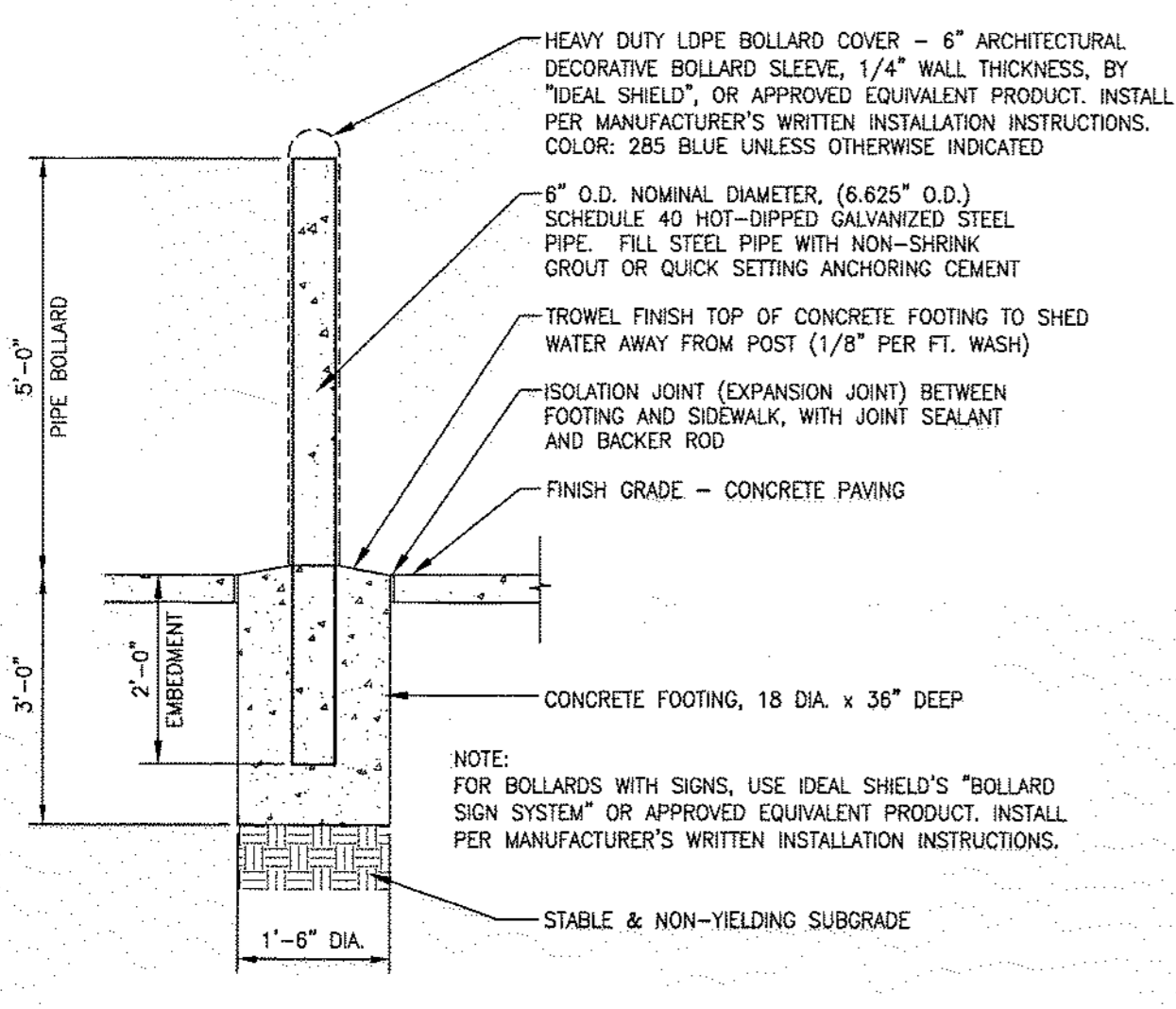
10 ADA PARKING SIGN W/ BOLLARD  
C-501 NOT TO SCALE



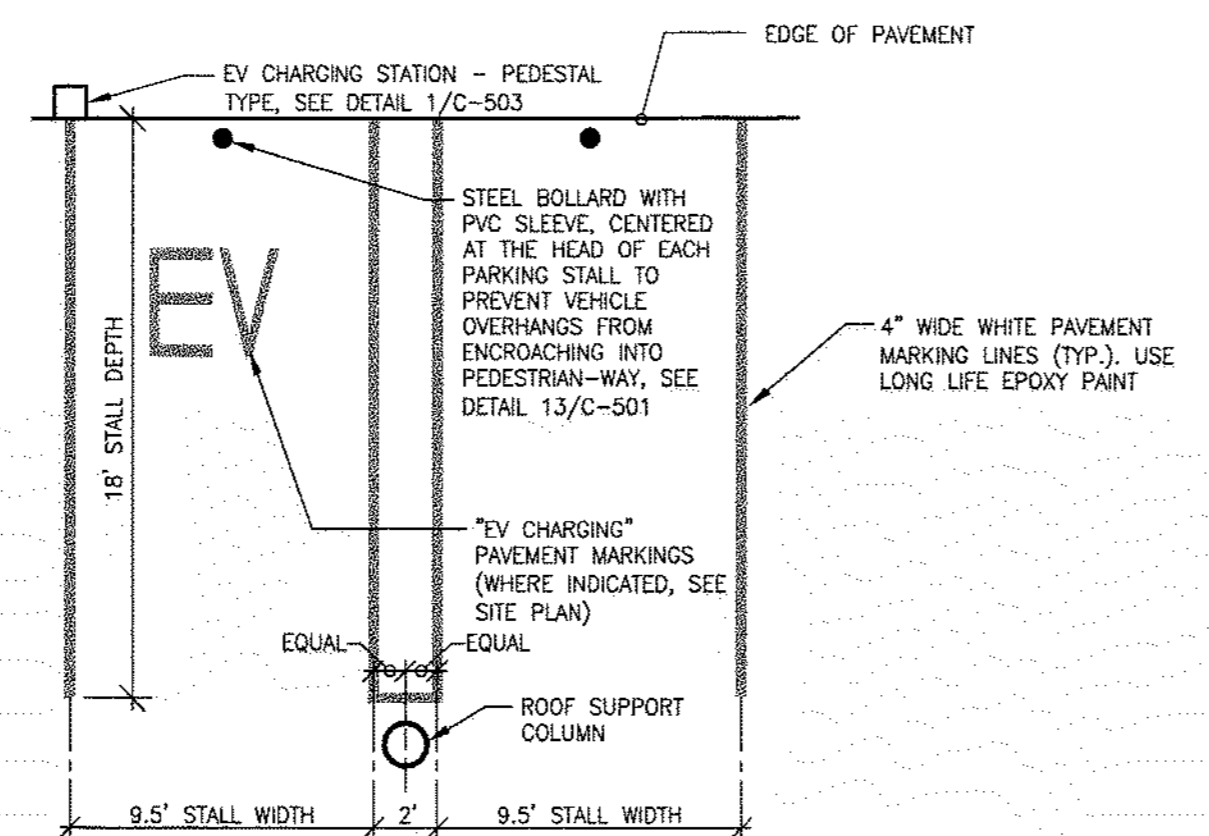
6 CONCRETE CURB (LOCAL)  
C-501 NOT TO SCALE



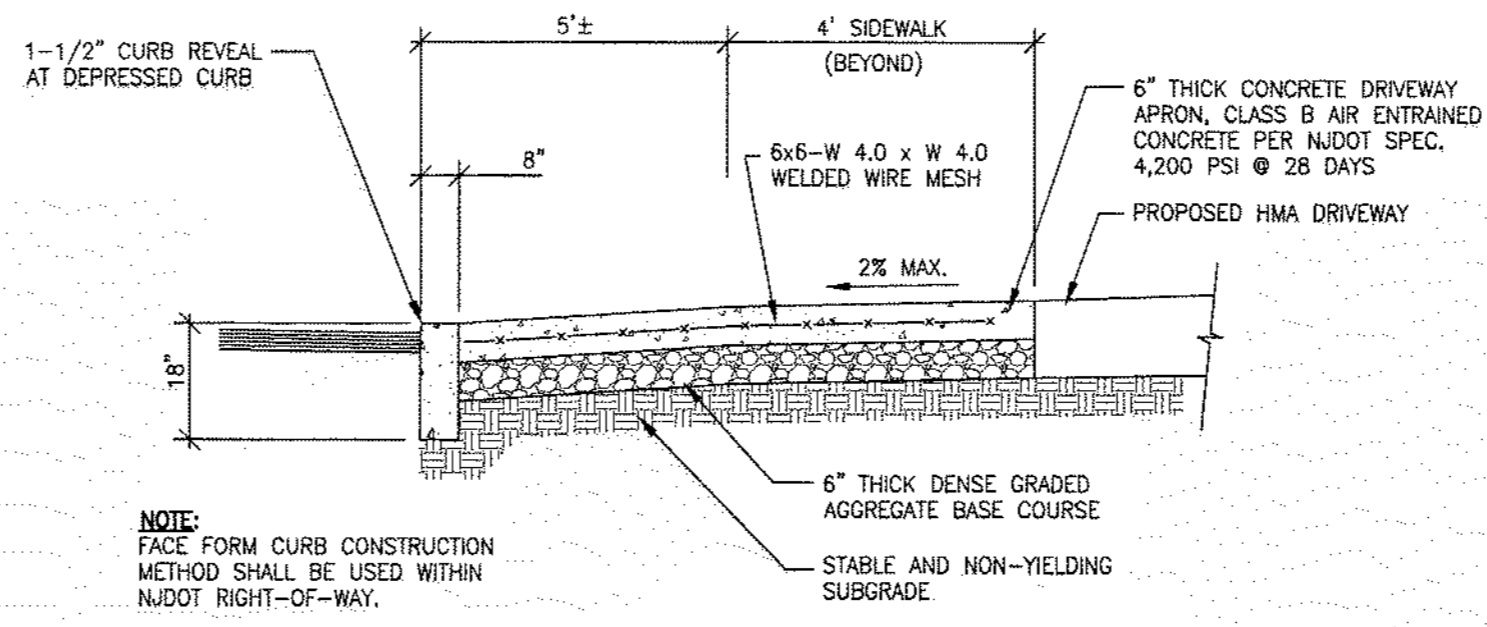
2 CONCRETE SIDEWALK  
C-501 NOT TO SCALE



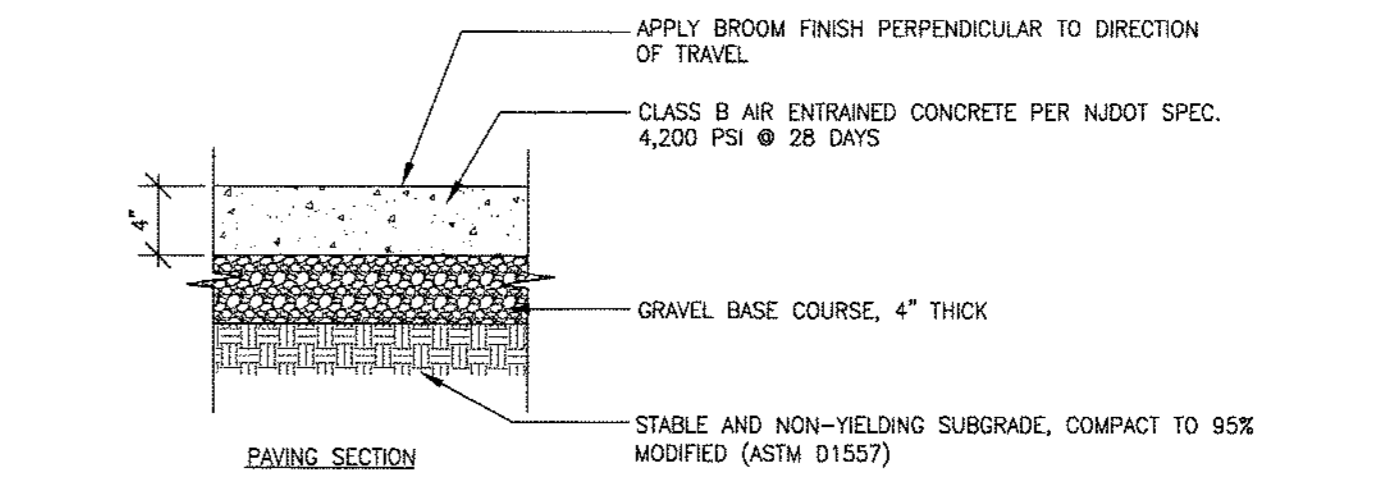
13 STEEL BOLLARD WITH PVC SLEEVE COVER  
C-501 NOT TO SCALE



9 STANDARD PARKING SPACE  
C-501 NOT TO SCALE



5 CONCRETE DRIVEWAY APRON  
C-501 NOT TO SCALE



1 ASPHALT PAVING  
C-501 NOT TO SCALE



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Project: 501-503 STATION AVENUE  
BLOCK 25, LOTS 16 & 17.01  
HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY  
Client: BROKEN GROUND PROPERTIES LLC  
Title: DETAIL SHEET  
Permit Seal

CLIFTON W. QUAY  
PROFESSIONAL ENGINEER, PROFESSIONAL PLANNER  
N.J.P.E. LICENSE #42670, N.J.P.P. LICENSE #105863  
DATE: 2-12-24

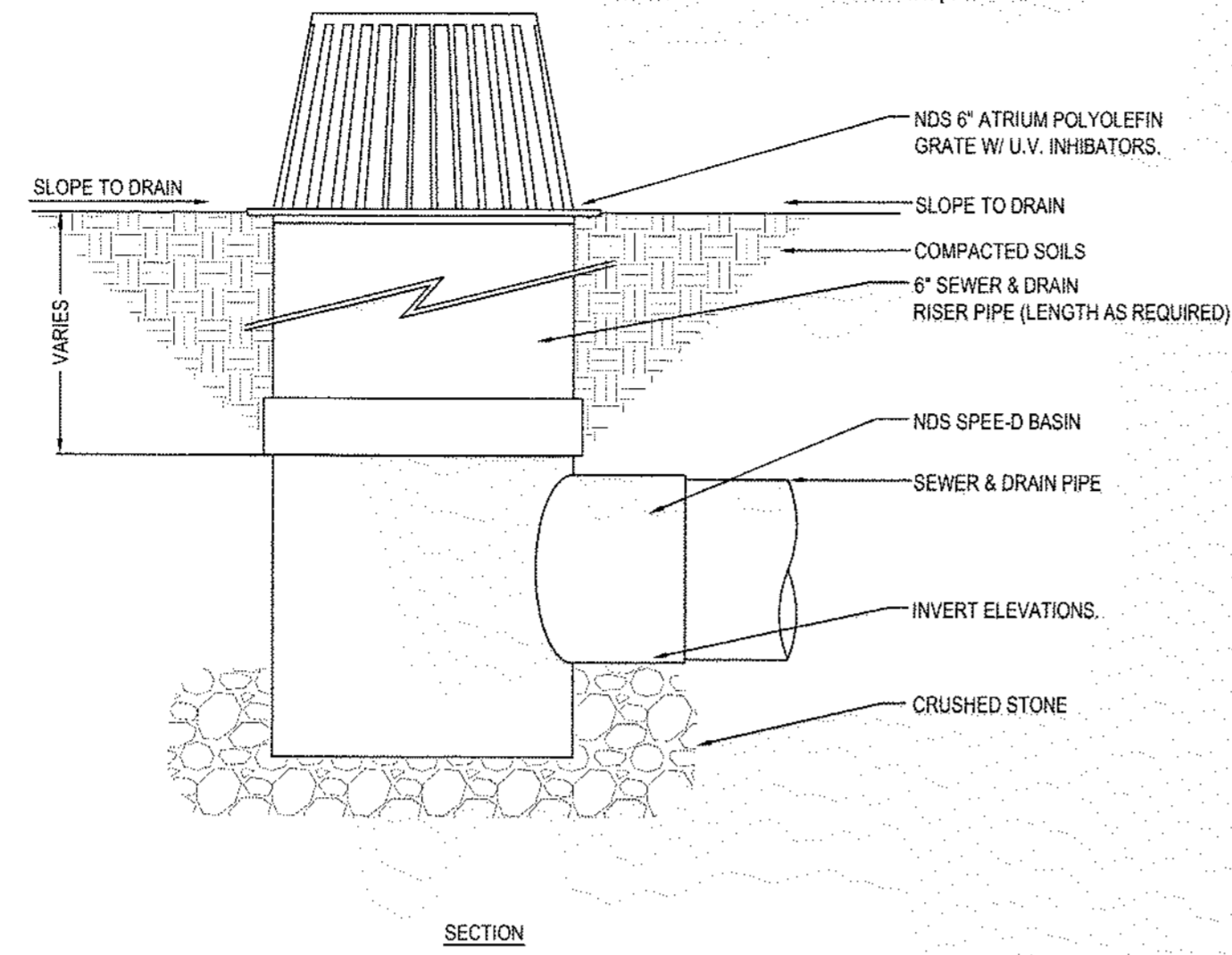
Project Number: 192520466

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Drawing No.	C-501		
Revision	Sheet		

Plot: 2-14-24 0:55pm By: rlgpant



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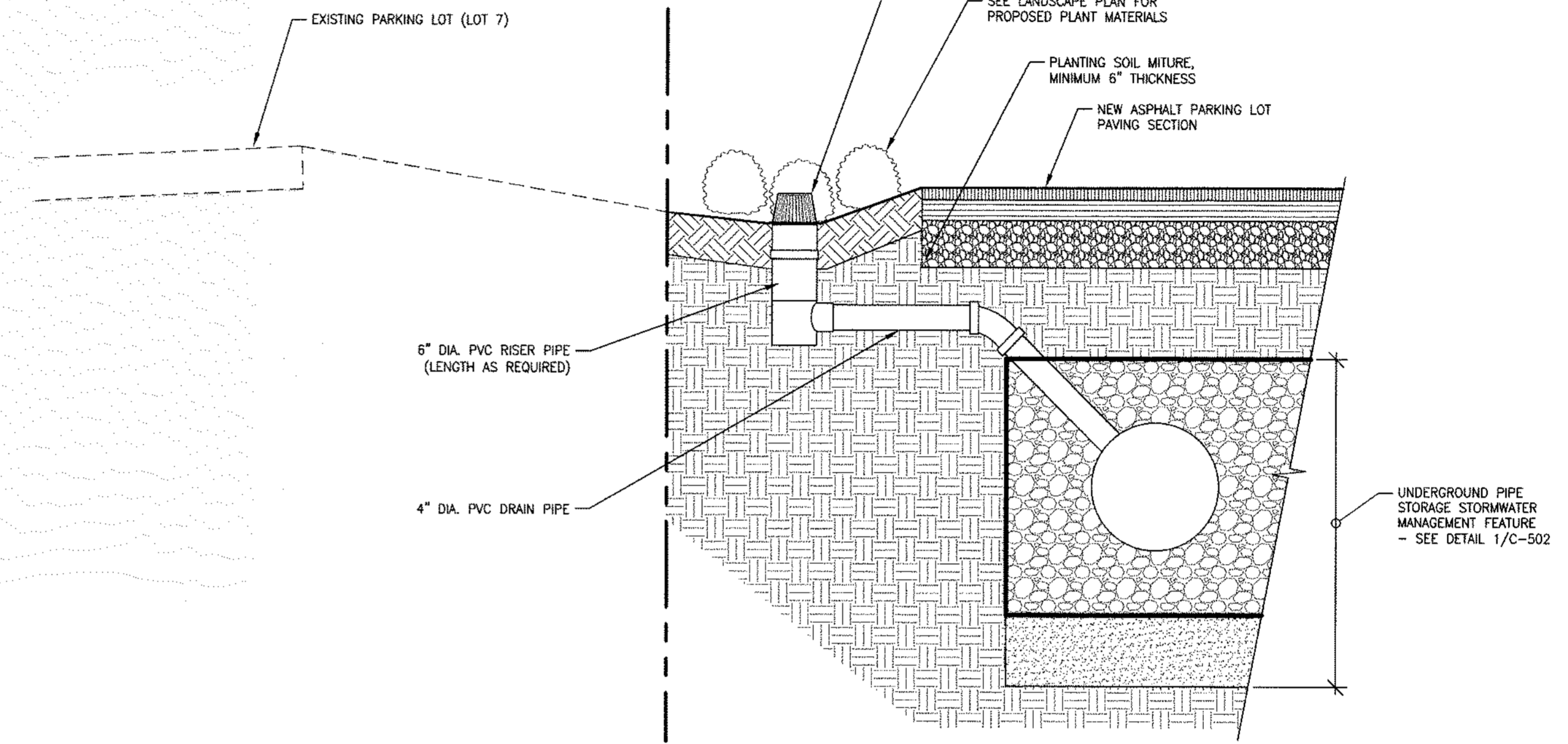
- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  2. DO NOT SCALE DRAWING.
  3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
  4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

4 ROUND SPEE-D BASINS  
C-502 ATRIUM GRATE WITH SPEE-D BASIN

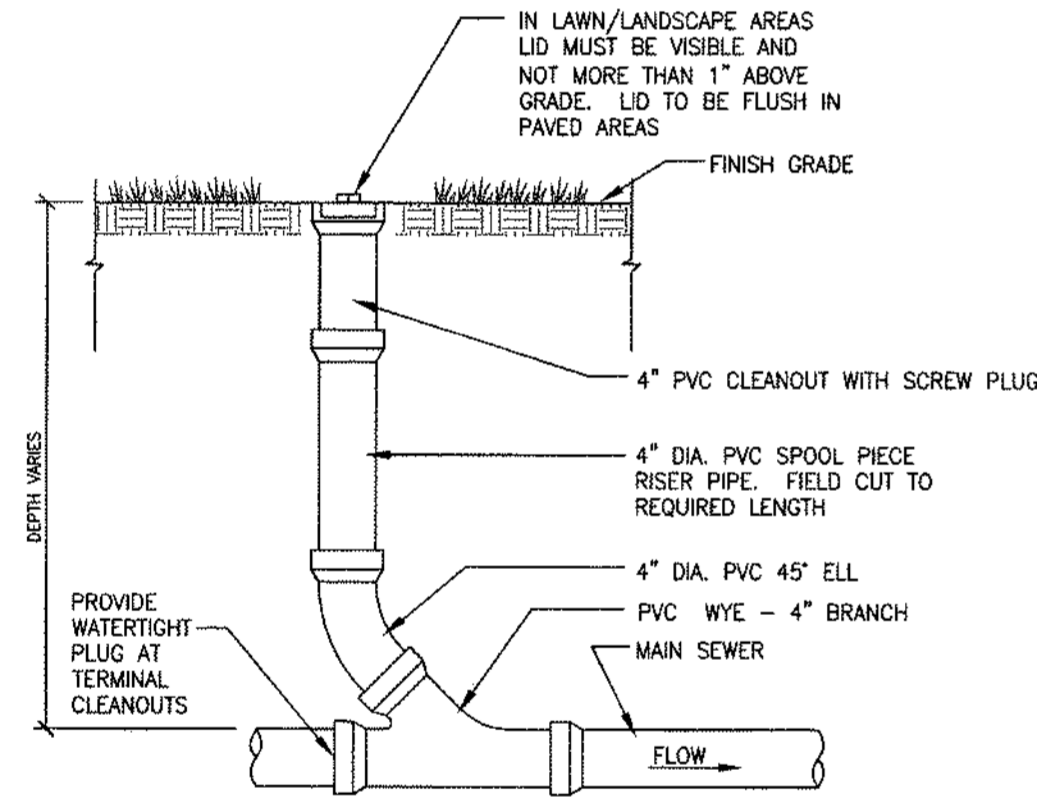


REVISION DATE 8-24-2015

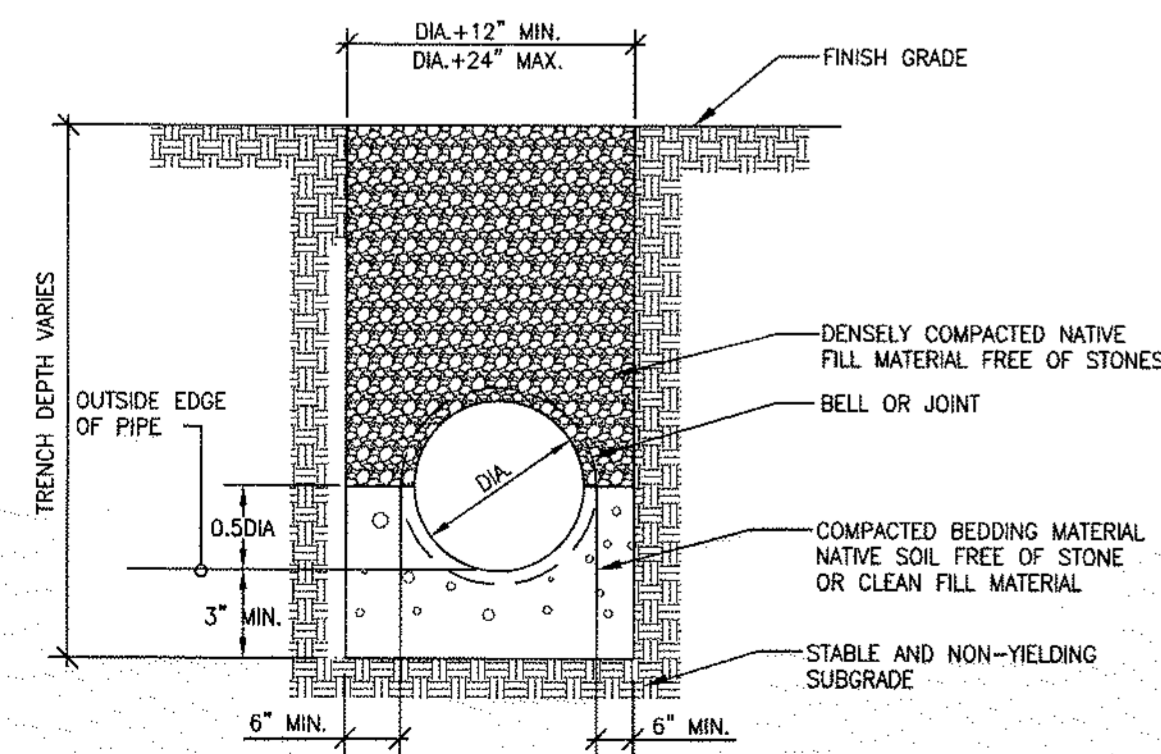
PROPERTY LINE



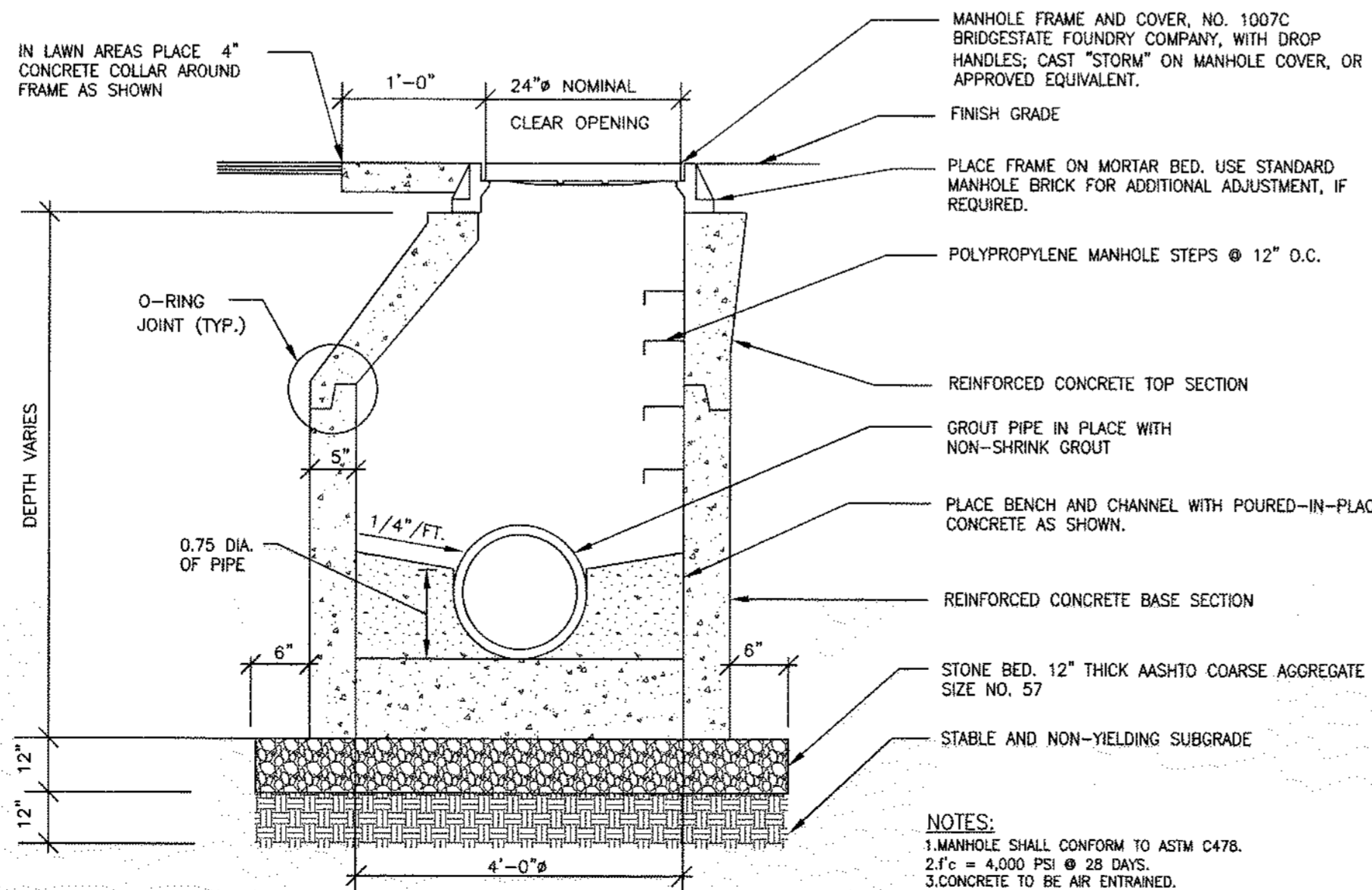
2 TYPICAL SECTION AT AREA DRAIN  
C-502 NOT TO SCALE



6 STORM CLEANOUT  
C-502 NOT TO SCALE

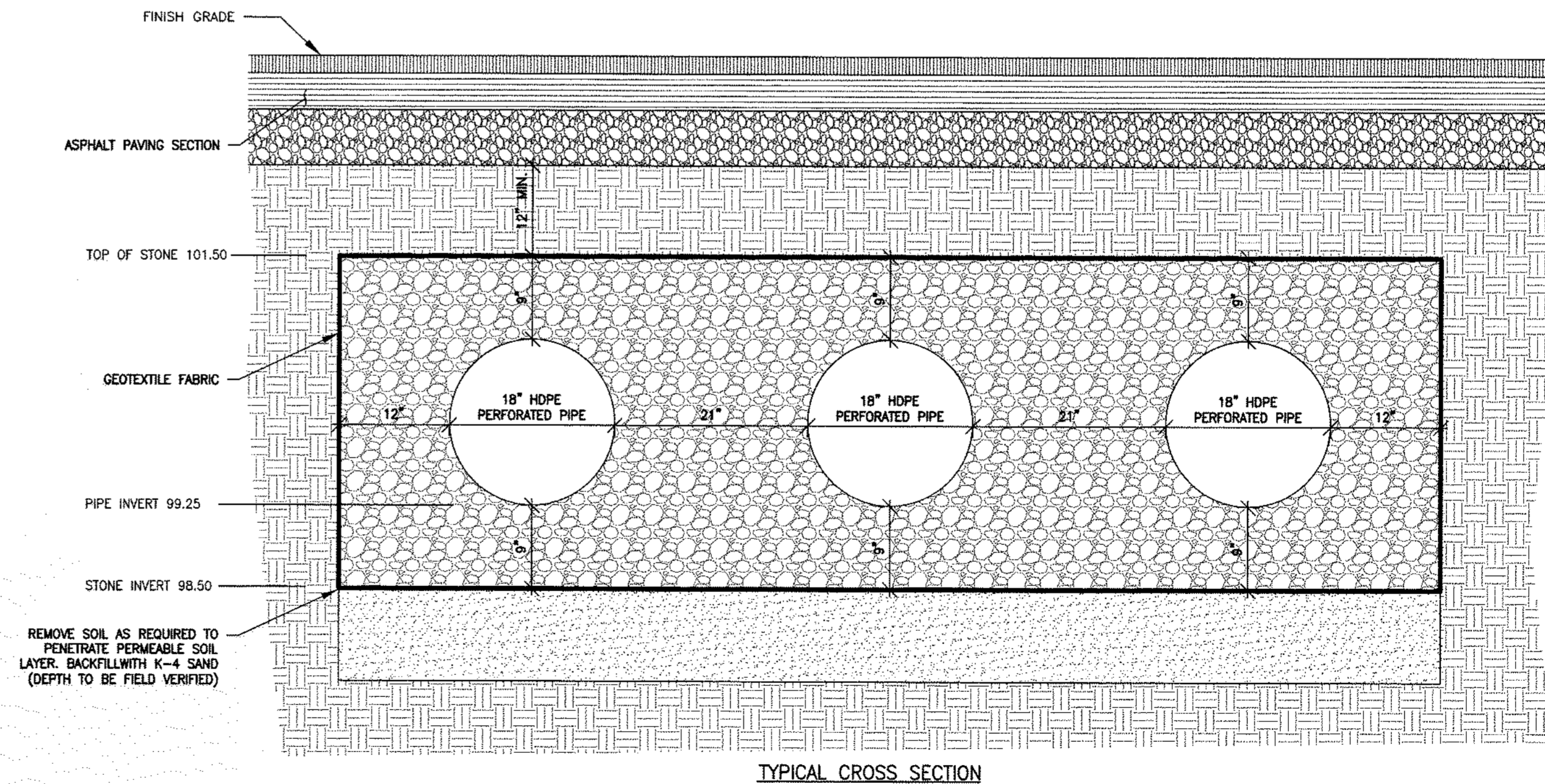


5 PIPE BEDDING/TRENCH  
C-502 NOT TO SCALE



3 STORM MANHOLE  
C-502 NOT TO SCALE

- NOTES:
1. MANHOLE SHALL CONFORM TO ASTM C478.
  2. F.C. = 4,000 PSI @ 28 DAYS.
  3. CONCRETE TO BE AIR ENTRAINED.
  4. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 AND A-92.
  5. PRE-CAST REINFORCED CONCRETE MANHOLE AS MANUF. BY TERRI HILL CONCRETE PRODUCTS INC., OR APPROVED EQUAL.
  6. O-RING JOINT SEALANT AS MANUF. BY HAMILTON KENT MANUFACTURING CO., OR APPROVED EQUAL.
  7. RE-BARS SHALL CONFORM TO A-615, GRADE 60.
  8. ALL PIPE PENETRATIONS SHALL BE PARALLEL ON THE INSIDE AND OUTSIDE OF STRUCTURE.



1 UNDERGROUND PIPE STORAGE  
C-502 NOT TO SCALE



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Mount Laurel, NJ 08054-1749 Fax: 855.234.5926

Project: 192520466  
Client: BROKEN GROUND PROPERTIES LLC  
Title: DETAIL SHEET 2

Project: 501-503 STATION AVENUE  
BLOCK 25, LOTS 16 & 17.01  
HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY

Permit-Seal

CLIFTON W. QUAY  
PROFESSIONAL ENGINEER, PROFESSIONAL PLANNER  
N.J.P.E. LICENSE #42870, N.J.P.P. LICENSE #1026653  
DATE: 2-13-24

MAJ	CWO	SAK	02.13.24
Dwn.	Chkd.	Dgn.	MM.DD.YY
Scale: AS NOTED			
Drawing No.	C-502		
Revision	Sheet		

COMMERCIAL ENERGY SERIES  
OVERVIEW

PowerCharge™

CABLE RETRACTOR

- Optional cable retractor extends the life of the cables by elevating them off the ground
- Creates a safer environment by greatly reducing tripping hazards

SLIM & DURABLE DESIGN

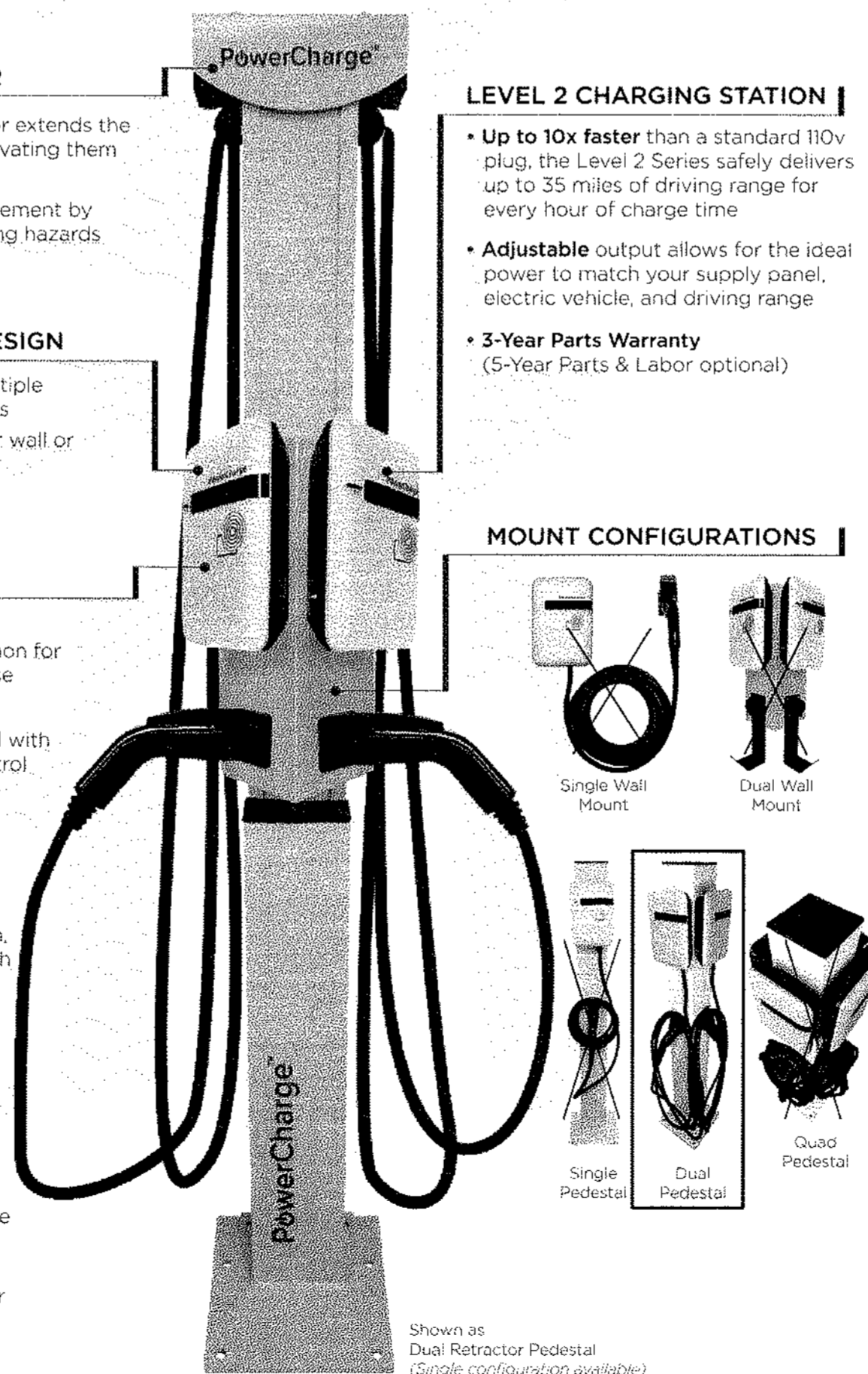
- Outdoor rated with multiple mounting configurations
- Small footprint whether wall or pedestal mounted

MULTIPLE MODELS

- Open Access Control  
Non-networked common for residential and fleet use
- RFID Access Control  
Non-networked model with RFID-card access control
- Ethernet (40A Only)
- Cellular
- Networked  
When connected to a backend software plan, it unlocks features such as point of sale payment, usage data reporting, driver notifications, remote diagnostics, and more

**UL** UL-Listed meets safety criteria for use in North America

**ADA** Meets standards for Americans with Disabilities Act

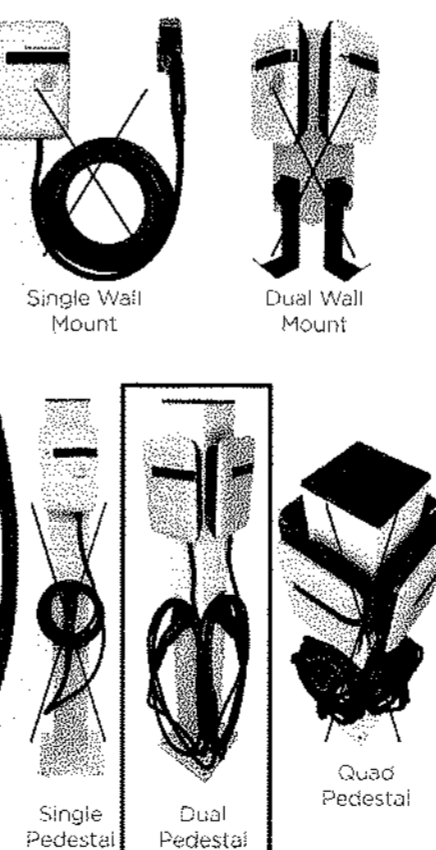


Shown as Dual Retractor Pedestal (Single configuration available)

LEVEL 2 CHARGING STATION

- Up to 10x faster than a standard 110v plug, the Level 2 Series safely delivers up to 35 miles of driving range for every hour of charge time
- Adjustable output allows for the ideal power to match your supply panel, electric vehicle, and driving range
- 3-Year Parts Warranty (5-Year Parts & Labor optional)

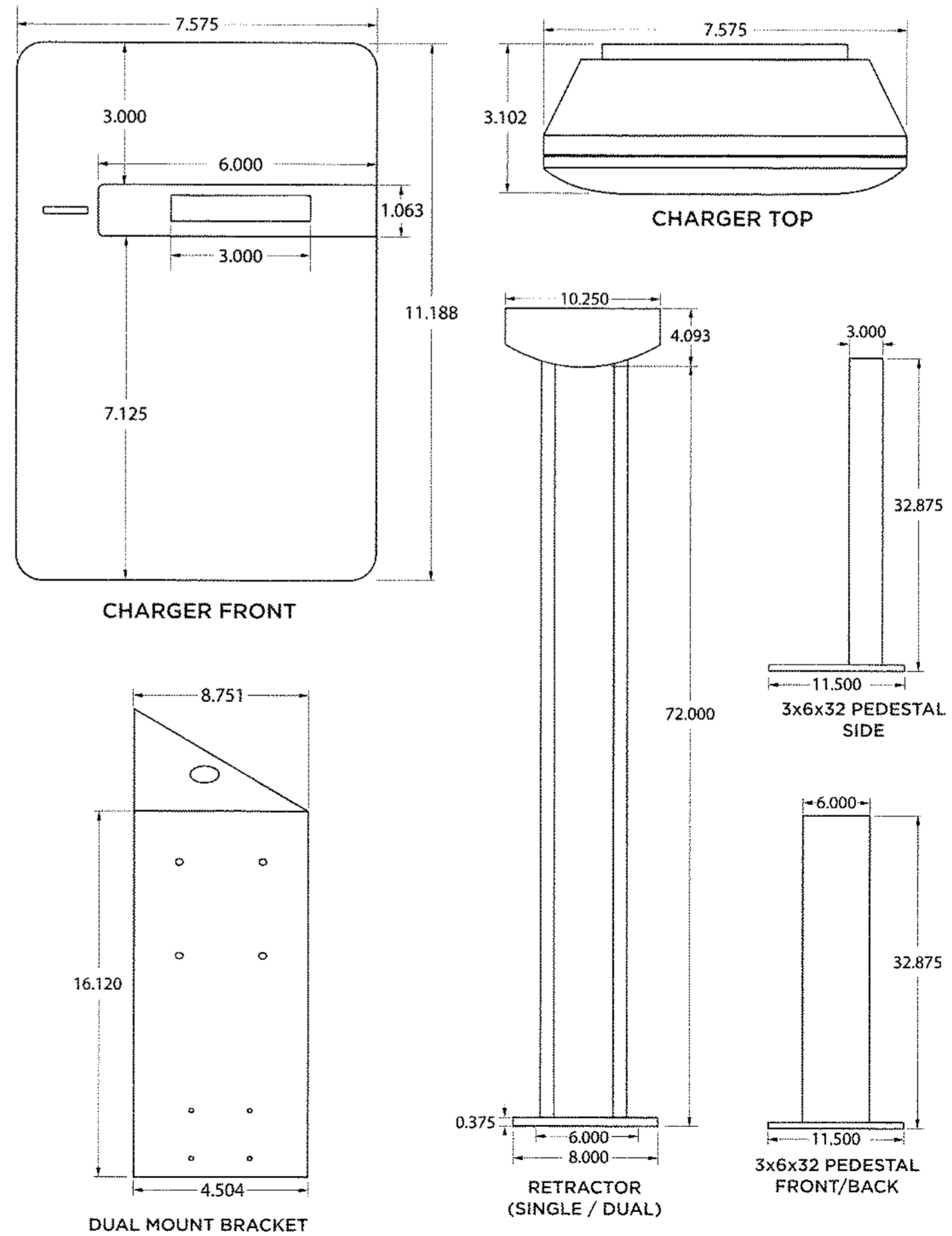
MOUNT CONFIGURATIONS



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COMMERCIAL ENERGY SERIES  
DIMENSIONS

PowerCharge™



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1 ELECTRIC VEHICLE CHARGER DETAIL  
C-503 NOT TO SCALE

Revision	By	Appd.	MM/DD/YY

Project: 501-503 STATION AVENUE  
BLOCK 25, LOTS 16 & 17.01  
HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY

Client: BROKEN GROUND PROPERTIES LLC

Title: DETAIL SHEET 3

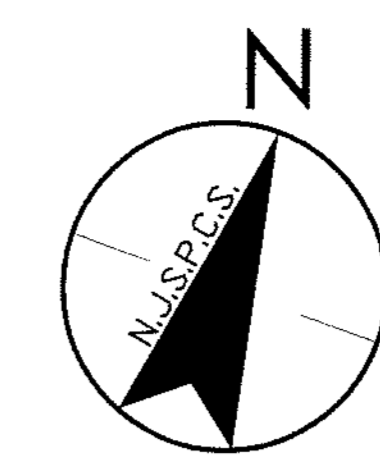
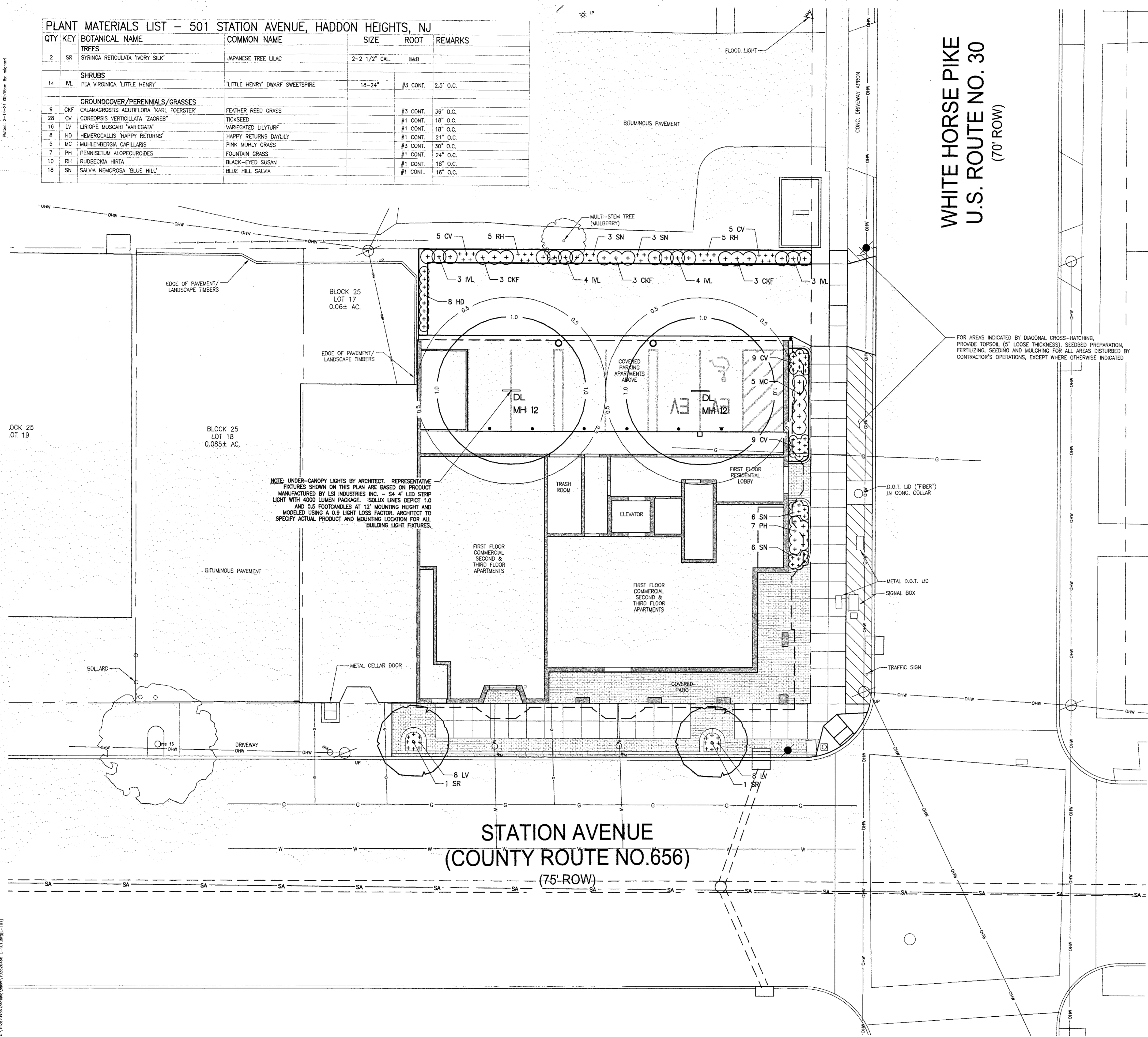
Permit-Seal

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N.J.P.E. LICENSE #42670, N.J.P.P. LICENSE #105863

*CWQ* 2-15-24  
DATE

Project Number:	192520468		
MMI	CWQ	SAK	02.13.24
Dwn.	Chkd	Dgn.	MM/DD/YY
Scale:	AS NOTED		
Drawing No.	C-503		
Revision	Sheet		

PLANT MATERIALS LIST - 501 STATION AVENUE, HADDON HEIGHTS, NJ						
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
<b>TREES</b>						
2	SR	SYRINGA RETICULATA 'IVORY SILK'	JAPANESE TREE LILAC	2-2 1/2" CAL.	B&B	
<b>SHRUBS</b>						
14	IVL	ITEA VIRGINICA 'LITTLE HENRY'	'LITTLE HENRY' DWARF SWEETSPICE	18-24"	#3 CONT.	2.5' O.C.
<b>GROUNDCOVER/PERENNIALS/GRASSES</b>						
9	CKF	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS		#3 CONT.	36" O.C.
28	CV	COREOPSIS VERTICILLATA 'ZAGREB'	TICKSEED		#1 CONT.	18" O.C.
16	LV	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILYTURF		#1 CONT.	18" O.C.
8	HD	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY		#1 CONT.	21" O.C.
5	MC	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS		#3 CONT.	30" O.C.
7	PH	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS		#1 CONT.	24" O.C.
10	RH	RUDBECKIA HIRTA	BLACK-EYED SUSAN		#1 CONT.	18" O.C.
18	SN	SALVIA NEMOROSA 'BLUE HILL'	BLUE HILL SALVIA		#1 CONT.	16" O.C.



Plotted 2-14-24 09:16am By: mgp/m

OCK 25  
OT 19

NOTE: UNDER-CANOPY LIGHTS BY ARCHITECT. REPRESENTATIVE FIXTURES SHOWN ON THIS PLAN ARE BASED ON PRODUCT MANUFACTURED BY LSI INDUSTRIES INC. - S4 4' LED STRIP LIGHT WITH 4000 LUMEN PACKAGE. SOLIX LINES DEPICT 1.0 AND 0.5 FOOTCANDLES AT 12' MOUNTING HEIGHT AND MODELED USING A 0.9 LIGHT LOSS FACTOR. ARCHITECT TO SPECIFY ACTUAL PRODUCT AND MOUNTING LOCATION FOR ALL BUILDING LIGHT FIXTURES.

FOR AREAS INDICATED BY DIAGONAL CROSS-HATCHING, PROVIDE TOPSOIL (5" LOOSE THICKNESS), SEEDBED PREPARATION, FERTILIZING, SEEDING AND MULCHING FOR ALL AREAS DISTURBED BY CONTRACTOR'S OPERATIONS, EXCEPT WHERE OTHERWISE INDICATED.

**PLANT MATERIAL INSTALLATION DETAILS:**  
SEE DRAWING No. L-501 FOR INSTALLATION DETAILS FOR PLANT MATERIALS.

**TURFGRASS/LAWN SEEDING:**  
REFER TO DRAWING L-501, "PLANTING DETAILS" FOR SEEDING NOTES & SPECIFICATIONS. REFER TO DRAWING C-105, "SOIL EROSION & SEDIMENT CONTROL PLAN" FOR TOPSOILING REQUIREMENTS AND SEED MIXES.

**TEMPORARY SEEDING:**  
REFER TO SOIL EROSION & SEDIMENT CONTROL PLAN FOR TEMPORARY SEEDING AND/OR MULCHING REQUIRED FOR TEMPORARY STABILIZATION OF SOILS THAT ARE DISTURBED DURING CONSTRUCTION.



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Revision	By	App'd.

Project: 501-503 STATION AVENUE  
BLOCK 25, LOTS 16 & 17/01  
HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY

Client: BROKEN GROUND PROPERTIES LLC

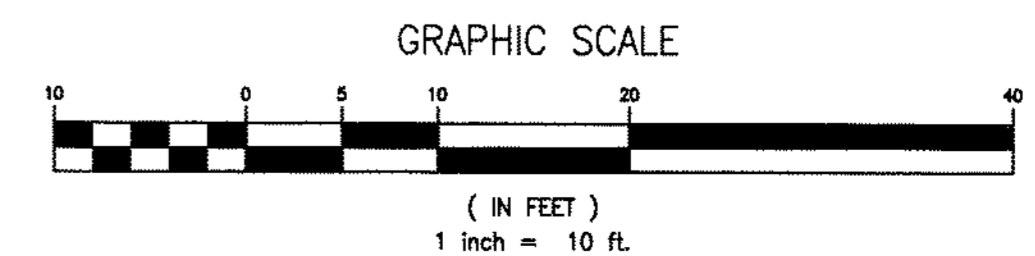
Title: LANDSCAPE & SITE LIGHTING PLAN

Permit-Seal

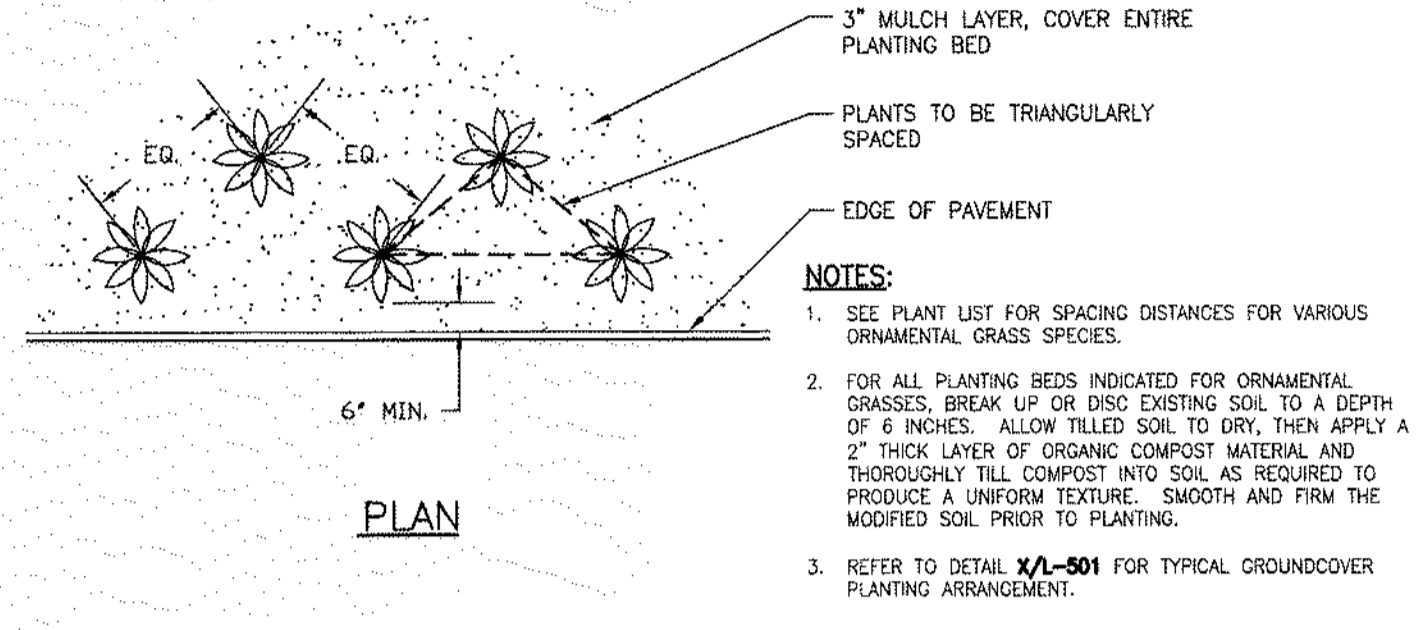
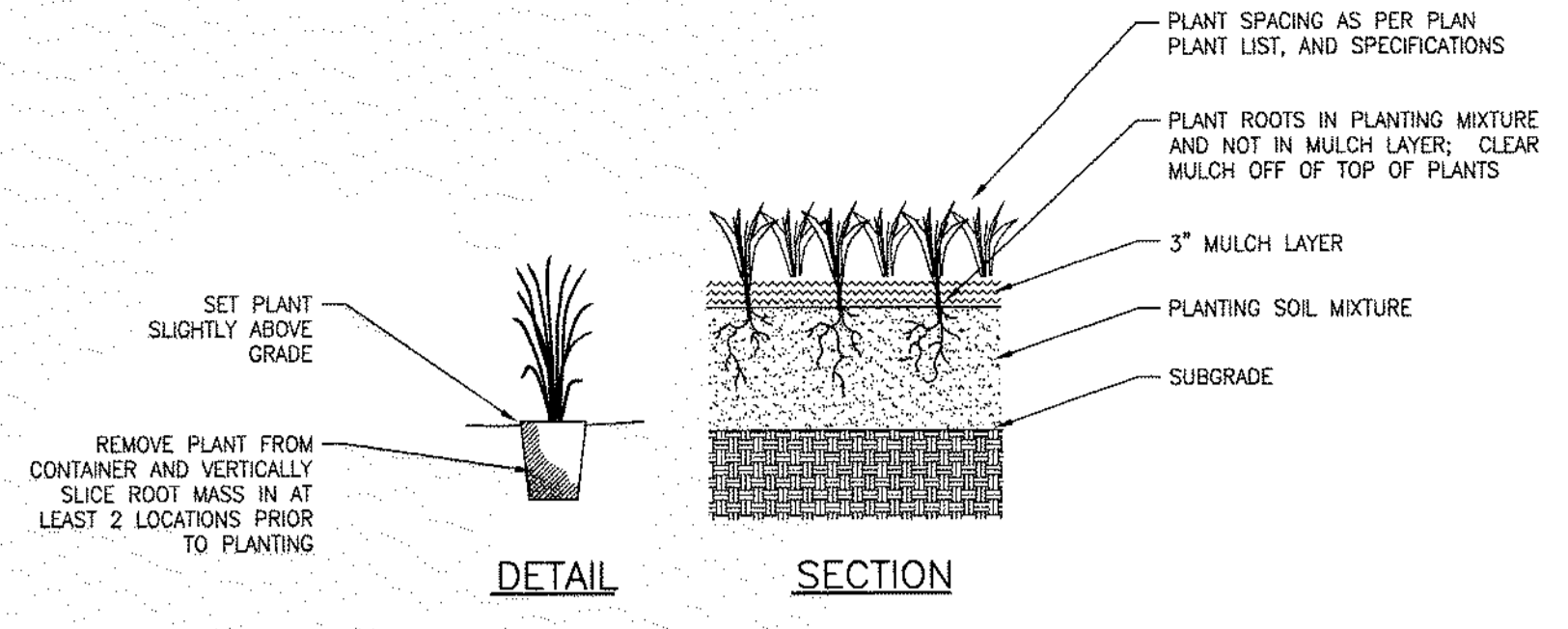
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*CWQ* 2.9.24  
DATE

Project Number: 192520466			
CPN	TAB	CPN	02.13.24
Desn.	Chkd.	Dsgn.	MM/DD/YY
Scale: 1" = 10'			
Drawing No. L-101		Revision Sheet	

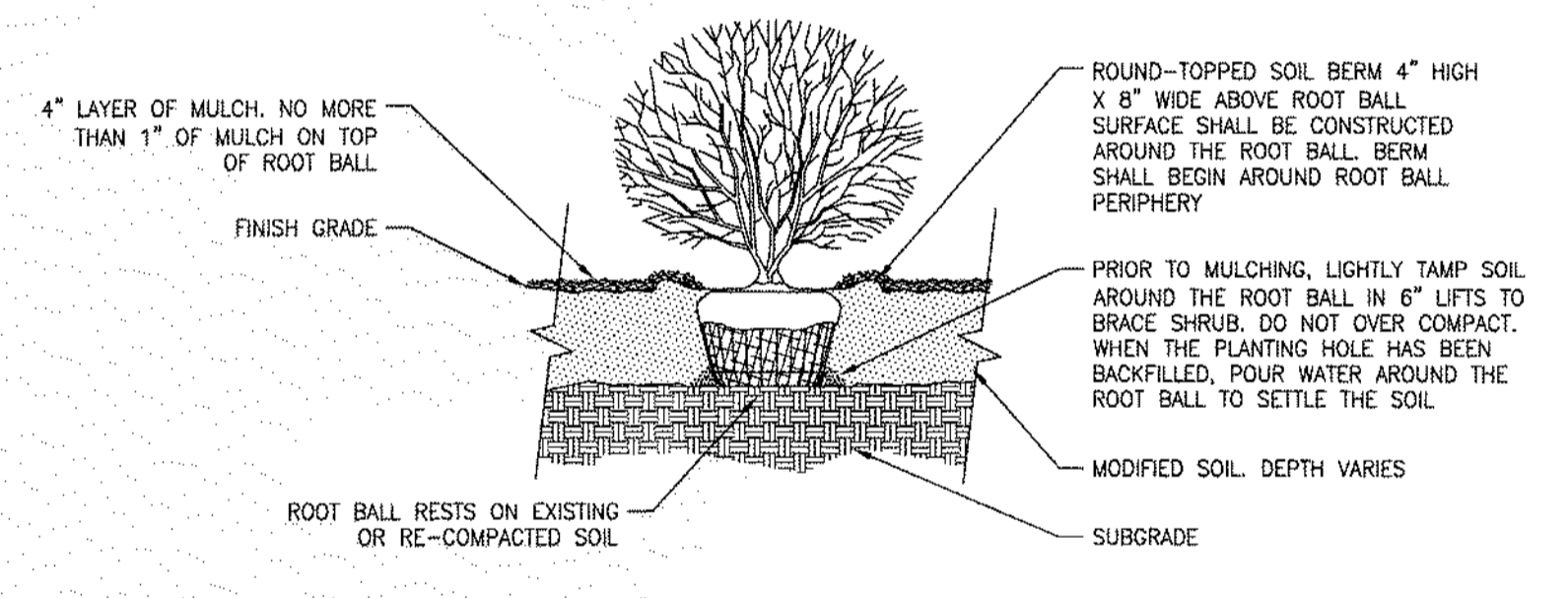


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**5 GROUND COVER / PERENNIAL**  
L-501 NOT TO SCALE

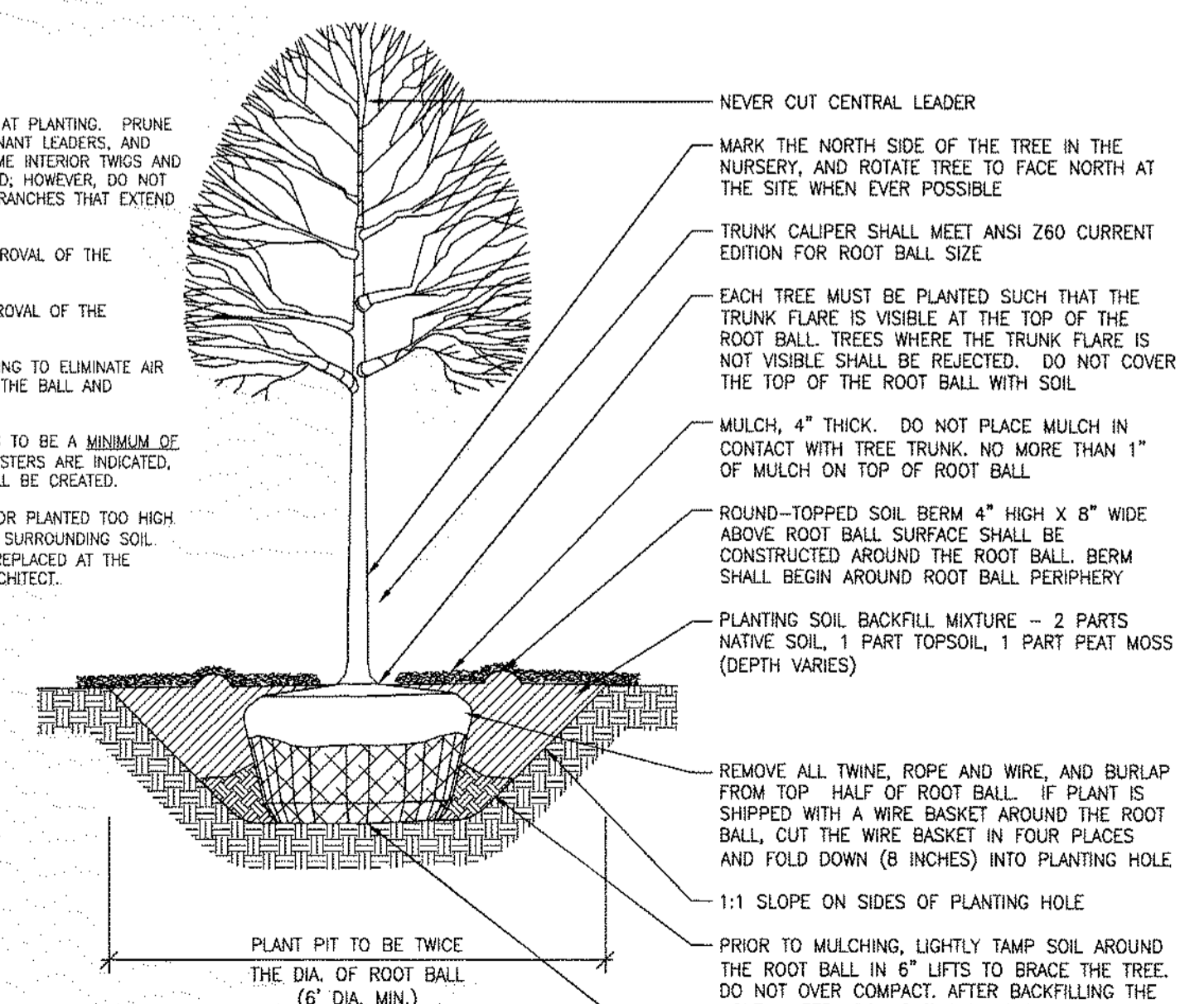
- NOTES:**
1. ROOT BALLS GREATER THAN 2" DIA. SHALL SIT ON A MOUND OF UNDISTURBED SOIL TO PREVENT SETTLEMENT.
  2. ROOT BALLS SMALLER THAN 2" DIA. SHALL SIT ON COMPACTED PLANTING SOIL.
  3. TOP OF ROOT BALL SHALL BE 1" TO 2" ABOVE FINISH GRADE.
  4. PLANTING HOLE FOR ROOT BALL SIZES 2" DIA. AND LARGER SHALL BE 2" LARGER ON ALL SIDES THAN DIAMETER OF ROOT BALL.
  5. PLANTING HOLE FOR ROOT BALL SIZES LESS THAN 2" DIA. SHALL BE TWICE THE DIAMETER OF THE ROOT BALL.



**3 SHRUB**  
L-501 NOT TO SCALE

**NOTES:**

1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSPOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
3. WRAP TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
4. WATER THOROUGHLY DURING PLANTING TO ELIMINATE AIR POCKETS, SETTLE, AND TO SOAK THE BALL AND SURROUNDING SOIL.
5. MULCH RING FOR INDIVIDUAL TREES TO BE A MINIMUM OF 8" IN DIAMETER. WHERE TREE CLUSTERS ARE INDICATED, A CONTINUOUS MULCHED BED SHALL BE CREATED.
6. TREES THAT ARE OVER-MULCHED, OR PLANTED TOO HIGH (MORE THAN 6 INCHES ABOVE THE SURROUNDING SOIL LEVEL), SHALL BE REJECTED AND REPLACED AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.



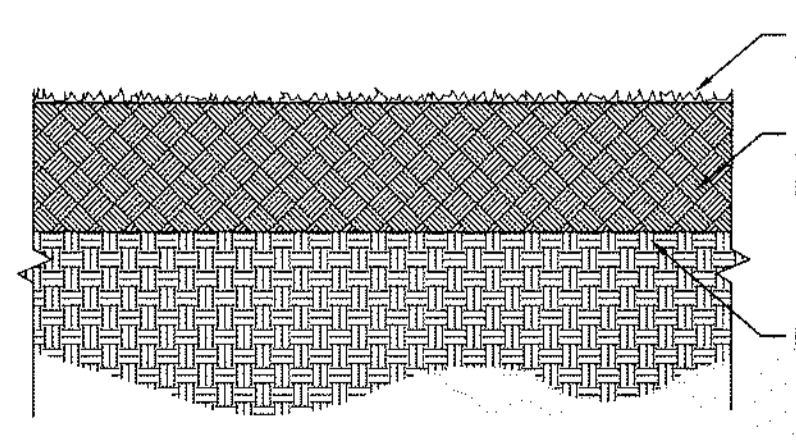
**1 DECIDUOUS TREE**  
L-501 NOT TO SCALE

**PLANTING NOTES AND SPECIFICATIONS**

1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS SHOWN, INCLUDING ALL LABOR, MATERIALS, EQUIPMENT, INCIDENTALS AND CLEANUP.
2. ALL PLANTS SHALL BE NURSERY GROWN. PLANT QUALITY AND SIZE, ROOT SPREAD AND ROOT BALL OR CONTAINER SIZE SHALL BE IN ACCORDANCE WITH AND SOIL AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE AND INSECT PESTS, EGGS AND LARVAE. THEY SHALL HAVE HEALTHY AND WELL DEVELOPED ROOT SYSTEMS.
3. DECIDUOUS TREES SHALL BE SELECTED FOR STRAIGHT TRUNKS, SYMMETRICAL AND FULL HEADS WITH NO OPEN AREAS AND WITH ONE STRAIGHT LEADER. TREES WITH A CROTCH OR FORKED TRUNK SHALL BE REJECTED. CONIFEROUS EVERGREEN TREES SHALL BE FULLY BRANCHED FROM THE GROUND TO UPPERMOST WHORL, WITH NO LARGE OPEN AREAS BETWEEN WHORLS. SHRUBS SHALL HAVE FULL, DENSE AND SYMMETRICAL HEADS AND SHALL BE FOLYATED TO THE GROUND. LEGGY OR ONE-SIDED PLANTS SHALL BE REJECTED. GROUND COVER PLANTS SHALL BE THRIFTY, WELL-BALANCED PLANTS, WELL-ESTABLISHED IN CONTAINERS.
4. ALL PLANTS (BAG OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS SECURELY ATTACHED THERETO BEFORE DELIVERY TO THE PROJECT SITE. LABELS SHALL IDENTIFY THE PLANTS BY NAME, SPECIES AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL FINAL INSPECTION BY THE PROJECT CONSULTANT OR OWNER'S AGENT.
5. SUBSTITUTIONS: DUE TO POSSIBLE LIMITED PLANT AVAILABILITY, PLANT MATERIAL OF SIMILAR CHARACTER MAY BE SUBSTITUTED, UPON REQUEST BY THE CONTRACTOR, IF APPROVED BY THE OWNER.
6. BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM, NATURAL DALLS OF EARTH, OF DIAMETER AND DEPTH TO INCLUDE MOST OF THE FIBROUS ROOTS. ALL ROOT WRAPPING MATERIAL, MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING.
7. CONTAINER GROWN STOCK SHALL HAVE BEEN GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER FIRM AND WHOLE. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. AFTER REMOVAL FROM THE CONTAINER, THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
8. ROOT BALLS OF ALL PLANTS SHALL BE ADEQUATELY PROTECTED AT ALL TIMES FROM SUN AND DRYING WINDS OR FROST. PLANTS WITH BROKEN ROOT BALLS OR EXCESSIVE DAMAGE TO THE CROWN SHALL BE REJECTED.
9. INSOFAR AS IT IS PRACTICABLE, PLANT MATERIALS SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT THE STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A 3 DAY PERIOD AFTER DELIVERY.
10. PLANTING SOIL FOR BACKFILLING PLANTED AREAS SHALL CONSIST OF 2 PARTS BY VOLUME OF LOAMY TOPSOIL THOROUGHLY MIXED WITH ONE PART PEAT MOSS. NOTHING BUT SUITABLE TOPSOIL, FREE OF DRY SOD, STIFF CLAY, DEBRIS, OR OTHER UNSUITABLE MATERIALS, SHALL BE USED FOR PLANTING.
11. ALL PLANTING SHALL BE INSTALLED AT THE LOCATIONS INDICATED ON THE DRAWINGS. MINOR ADJUSTMENTS TO PLANTING LOCATIONS MAY BE NECESSARY DUE TO FIELD CONDITIONS AND FINAL GRADING. THE CONTRACTOR SHALL ENSURE THAT LANDSCAPE INSTALLATION DOES NOT INTERRUPT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS. THE CONTRACTOR SHALL NOTIFY THE OWNER IF MAJOR ADJUSTMENTS ARE REQUIRED.
12. ALL PLANTS SHALL BE PLUMB AND STRAIGHT AND INSTALLED AT SUCH A LEVEL THAT, AFTER SETTLEMENT, THE INDICATED RELATIONSHIP BETWEEN THE CROWN OF THE ROOT BALL AND THE GROUND SURFACE WILL BE ESTABLISHED. (SEE PLANTING DETAILS). ALL PLANTS SHALL BE LOCATED IN THE CENTER OF THEIR RESPECTIVE PLANTING PITS.
13. TREES IN LEAF WHEN PLANTED SHALL BE TREATED WITH ANTI-DESICCANT SUCH AS "WILT-PROOF".
14. MULCH: IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED ALL TREE AND SHRUB PLANTING PITS SHALL BE COVERED WITH A 3" (THREE INCH) LAYER OF DOUBLE SHEDDED HARDWOOD ROOT MULCH OR OTHER MATERIAL APPROVED BY THE OWNER. THE LIMIT OF THIS MULCH FOR DECIDUOUS TREES AND SINGLE EVERGREEN TREES SHALL BE THE AREA OF THE PIT, FOR SHRUB BEDS AND EVERGREEN TREE CLUSTERS, A CONTINUOUS MULCHED BED SHALL BE CREATED.
15. ALL PLANTING BEDS ADJACENT TO LAWN, SOD OR SEEDED AREAS SHALL BE SPADE EDGE.
16. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLICATION OF PRE-EMERGENT. APPLY PRE-EMERGENT AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
17. EACH TREE AND SHRUB SHALL BE PRUNED, AFTER INSTALLATION, IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
18. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND THE OWNER'S AGENT IN WRITING OF ALL SOIL OR DRAINAGE CONDITIONS WHICH THE CONTRACTOR CONSIDERS DETRIMENTAL TO THE GROWTH OF PLANTS, IF SUCH CONDITIONS ARE ENCOUNTERED DURING PLANTING. STATE THE CONDITIONS AND SUBMIT A PROPOSAL FOR CORRECTING THE CONDITIONS, INCLUDING ANY CHANGE IN COST, FOR REVIEW AND ACCEPTANCE BY THE OWNER.
19. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES LISTED IN THE PLANT LIST AND THOSE QUANTITIES SHOWN ON THE PLANS, THOSE SHOWN ON THE PLANS SHALL GOVERN.
20. NEW PLANTING AREAS AND NEW TURF AREAS SHALL BE ADEQUATELY IRRIGATED OR WATERED BY THE CONTRACTOR AS REQUIRED TO ESTABLISH THE NEW PLANTS AND LAWN, UNTIL OWNER'S ACCEPTANCE.
21. ANY MATERIAL/WORK MAY BE REJECTED IF IT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. ALL REJECTED MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
22. UPON COMPLETION OF ALL LANDSCAPING, A PROJECT MEETING FOR ACCEPTANCE OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE OWNER TO SCHEDULE THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
23. CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE BY OWNER. THE ONE-YEAR GUARANTEE PERIOD SHALL COMMENCE UPON FINAL ACCEPTANCE BY OWNER.
24. GUARANTEE: ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN A VIGOROUS GROWING CONDITION FOR A PERIOD OF NOT LESS THAN ONE FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE BY OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MONITOR THE PROJECT DURING THE GUARANTEE PERIOD AND NOTIFY THE OWNER IF PROBLEMS DEVELOP WITH THE PLANT MATERIAL. IN ANY EVENT, ANY PLANT THAT IS 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND MUST BE REPLACED AT NO CHARGE. A TREE SHALL BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR THERE IS 25% OF THE CROWN DEAD. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. REPLACEMENT PLANTS SHALL BE GUARANTEED FOR A PERIOD OF 90 DAYS AFTER THEIR INSTALLATION.
25. REFER TO "SITE PLAN", SHEET C-102 FOR GENERAL NOTES PERTAINING TO WORK OF THIS PLAN. REFER TO SHEET C-101 FOR PROJECT LEGEND. THIS PLAN SHALL BE USED FOR LANDSCAPE PURPOSES ONLY. THE CONTRACTOR SHALL REVIEW RELATED ARCHITECTURAL/ENGINEERING PLANS TO BECOME THOROUGHLY FAMILIAR WITH GRADING AND UTILITIES.

**SEEDING NOTES AND SPECIFICATIONS**

1. GENERAL: PROVIDE TOPSOILING, SEEDBED PREPARATION, FERTILIZING, SEEDING AND MULCHING OF ALL NEWLY GRADED FINISHED EARTH SURFACES, UNLESS INDICATED OTHERWISE, AND AT ALL AREAS INSIDE OR OUTSIDE THE LIMITS OF CONSTRUCTION THAT ARE DISTURBED BY THE CONTRACTOR'S OPERATIONS. SOIL SEED FROM APRIL 1 TO MAY 31 FOR SPRING PLANTING AND FROM AUGUST 15 TO OCTOBER 15 FOR FALL PLANTING. SEEDING PERIOD MAY BE EXTENDED OR REDUCED ACCORDING TO PREVAILING WEATHER CONDITIONS AT THE TIME, AS DIRECTED BY THE LANDSCAPE ARCHITECT.
2. TOPSOILING: COMPLY WITH SOIL EROSION & SEDIMENT CONTROL PLAN AND NOTES. ADDITIONAL REQUIREMENTS FOR LAWN AREAS:
  - A. FINISHED SURFACE OF THE TOPSOIL SHALL CONFORM TO THE FINISHED GRADE AND SHALL BE FREE FROM DEPRESSIONS, HOLLOWES, OR OTHER IRREGULARITIES.
  - B. REMOVE FROM THE SURFACE ALL STONES 2 INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, CONCRETE RUBBLE, CLOUDS, LUMPS OR OTHER UNSUITABLE MATERIAL.
3. SEEDBED PREPARATION: COMPLY WITH SOIL EROSION & SEDIMENT CONTROL PLAN AND NOTES.
4. SEED MIXTURES: COMPLY WITH SOIL EROSION & SEDIMENT CONTROL PLAN AND NOTES.
5. SEED APPLICATION: COMPLY WITH SOIL EROSION & SEDIMENT CONTROL PLAN AND NOTES.
  - A. SOW SEED WITHIN 24 HOURS OF SEEDBED PREPARATION.
  - B. SEED SHALL NOT BE APPLIED BY HYDROSEEDING UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.
6. MULCH ALL SEEDED LAWN AREAS AFTER SEED APPLICATION. COMPLY WITH SOIL EROSION & SEDIMENT CONTROL PLAN AND NOTES.
7. STEEP SLOPES (3:1 OR GREATER): INSTALL SLOPE STABILIZATION FABRIC IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS, AFTER SEEDING APPLICATION.
8. WATERING:
  - A. UNLESS OTHERWISE DIRECTED, WATER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. SOURCE OF WATER SHALL BE OF SUITABLE QUALITY FOR IRRIGATION, CONTAINING NO ELEMENTS TOXIC TO PLANT LIFE.
  - B. START WATERING AREAS SEEDS AS REQUIRED BY TEMPERATURE AND WIND CONDITIONS. APPLY WATER AT A RATE SUFFICIENT TO INSURE THOROUGH WETTING OF SOIL TO A DEPTH OF 2 INCHES WITHOUT RUN OFF.
  - C. DURING THE GERMINATION PROCESS, SEED IS TO BE KEPT ACTIVELY GROWING AND NOT ALLOWED TO DRY OUT.
  - D. IRRIGATE TO ACHIEVE MINIMUM OF 1" OF WATER PER WEEK FOR A MINIMUM OF 4 WEEKS OR UNTIL GERMINATION IS COMPLETED AND VEGETATION IS ESTABLISHED.
9. SOD, IF AND WHERE INDICATED ON THE DRAWINGS, SHALL BE SAME AS GENERAL LAWN SEED MIX AND SHALL BE INSTALLED IN ACCORDANCE WITH AMERICAN ASSOCIATION OF SOIL PRODUCERS' STANDARDS. SPECIFY "CERTIFIED SOD" OR HIGH QUALITY CULTIVATED SOD. IT IS TO BE FREE OF WEEDS AND UNDESIRABLE SPECIES AND ALSO BE OF UNIFORM THICKNESS. ALSO TO HAVE GOOD ROOT MAT WITHOUT BROKEN PADS OR TORN UNDEEN ENDS.
10. MAINTENANCE DURING ESTABLISHMENT PERIOD: THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL AREAS DURING THE PERIOD WHEN GRASS IS BECOMING ESTABLISHED AND UNTIL ALL WORK UNDER THIS CONTRACT IS COMPLETE AND ACCEPTED. MAINTAIN AND ESTABLISH TURF BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND PERFORMING OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE TURF. ROLL, REGRADE, AND REPLAIN BARE OR ERODED AREAS AND REGRASS TO PRODUCE A UNIFORMLY SMOOTH TURF. PROVIDE MATERIALS AND INSTALLATION THE SAME AS THOSE USED IN THE ORIGINAL INSTALLATION.
  - A. FILL IN AS NECESSARY SOIL SUBSIDENCE THAT MAY OCCUR BECAUSE OF SETTLING OR OTHER PROCESSES. REPLACE MATERIALS AND TURF DAMAGED OR LOST IN AREAS OF SUBSIDENCE.
  - B. IN AREAS WHERE MULCH HAS BEEN DISTURBED BY WIND OR MAINTENANCE OPERATIONS, ADD NEW MULCH AND ANCHOR AS REQUIRED TO PREVENT DISPLACEMENT.
  - C. IF ANY PORTION OF THE SURFACE BECOMES GULLED OR OTHERWISE DAMAGED FOLLOWING SEEDING, THE EFFECTED CONDITIONS AND GRADE OF THE SOIL PRIOR TO SEEDING SHALL BE RESEDED AS SPECIFIED HEREIN.
11. SEE SOIL EROSION & SEDIMENT CONTROL PLAN FOR TEMPORARY SEEDING AND STABILIZATION MEASURES FOR SOILS DISTURBED DURING CONSTRUCTION.
12. ACCEPTANCE OF SATISFACTORY LAWNS:
  - A. SATISFACTORY SEEDED LAWN: AT END OF MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90 PERCENT OVER ANY 10 SQ. FT. AND BARE SPOTS NOT EXCEEDING 5 BY 5 INCHES.
  - B. SATISFACTORY SODDED LAWN: AT END OF MAINTENANCE PERIOD, A HEALTHY, WELL-ROOTED, EVEN-COLORED, VIABLE LAWN HAS BEEN ESTABLISHED, FREE OF WEEDS, OPEN JOINTS, BARE AREAS, AND SURFACE IRREGULARITIES.
  - C. REESTABLISH LAWNS THAT DO NOT COMPLY WITH REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWNS ARE SATISFACTORY.
13. GUARANTEE: ALL LAWN WORK INCLUDING THE REPAIR OF WASHOUTS, GULLIES, ETC., SHALL BE GUARANTEED FOR ONE CALENDAR YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.



**X SEEDED LAWN DETAIL**  
L-501 NOT TO SCALE



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The Contractor shall verify and be responsible for all dimensions. I/O any amount of uncertainty that is reported to Stantec without liability. The Contractor shall verify and be responsible for all dimensions. I/O any amount of uncertainty that is reported to Stantec without liability. The Contractor shall verify and be responsible for all dimensions. I/O any amount of uncertainty that is reported to Stantec without liability.

Revision	By	Appr.	DATE

Project: 501-503 STATION AVENUE BLOCK 25 LOTS 16 & 17 01 HADDON HEIGHTS BOROUGH, CAMDEN COUNTY, NEW JERSEY  
Client: BROKEN GROUND PROPERTIES LLC  
Title: LANDSCAPE DETAILS  
Permit Seal

**CLIFTON W. QUAY**  
PROFESSIONAL ENGINEER, PROFESSIONAL PLANNER  
N.J.P.E. LICENSE #42870, N.J.P.P. LICENSE #105853  
*Clif W Quay*  
2-13-24  
DATE

Project Number: 192920466

MAI	CWD	SAK	02.13.24
Dwn.	Chkd.	Dagn.	MM.DD.YY
Scale: AS NOTED			
Drawing No.	L-501		
Revision	Sheet		